

Historic Review Board Policies

Proposed Changes to Historic Review Board Policies

Draft for May 2019 Historic Review Board Meeting

Each and every historic building plays a significant part of the ongoing preservation of Oregon City's local heritage. Historic buildings reflect the lives and aspiration of past generations and their preservation defines the community in many ways. Most of all, thoughtful stewardship of our buildings and surrounding environment can ensure that our sense of identity is passed along to future generations.

These ~~guidelines~~ policies are authorized by Section 17.40.060 of the Oregon City Municipal Code and apply to designated historic structures in Oregon City. Projects that meet the HRB policies do not have to request approval from the Board. City staff are available to help property owners determine if their projects meet the HRB policies. Either staff or the applicant shall have the option of referring the plans to the Historic Review Board for resolution of doubtful or contested application of standards. Owners of properties that do not fall under the Historic Review Process are encouraged to follow the Policies set forth by the Historic Review Board by making exterior alterations that maintain the structure's integrity and are compatible with the neighborhood.

HRB Policy #1 (First Adopted 1986) - Construction and Repair of Foundations

The finished floor elevation of the structure shall not be raised or lowered in relation to the ground level as a result of foundation construction or repair. Any new foundation must be covered with skirting that matches the original skirting on the structure.

HRB Policy #2 (First Adopted 1986) - Storm Windows and Doors

Storm window frames and members shall be made of wood, baked enamel, or anodized aluminum. If wooden or enameled, the frames and members shall be painted to match or complement the color of the existing window trim. Mill finish aluminum storm windows are not permitted. Interior storm windows are encouraged.

HRB Policy #3 (First Adopted 1986; Revised 2019) - Repair or Replacement of Siding

On designated structures, new siding shall match original siding both in material and style. A sample must be submitted for review. If fiber cement is desired as a replacement for wood siding, the Board must review the proposal. The Board's decision factors will include how well the substitute material matches the original siding in profile and design.

Fiber cement siding is permitted without Board review under the following circumstances:

- a. On new and existing detached accessory buildings
- b. On non-contributing structures in the Canemah District
- c. As a replacement of vinyl siding on a designated structure
- d. Only smooth fiber cement boards are permitted
- e. Shakes or shingles must have a straight edge

HRB Policy #4 (First Adopted 1986)- Gutters and Downspouts

Replacement of wooden gutters and downspouts are permitted. Galvanized or enameled aluminum gutters and downspouts shall be painted to match the house. All support straps shall be painted to match the house. New downspouts shall be located to avoid visual interference with architectural features of the street façade. Plastic gutters and downspouts are not permitted. If the downspout empties onto the ground, splashblocks shall be placed at the outflow to disperse the water away from the foundation.

HRB Policy #5 (First Adopted 1986) - Roofs

Structures must be re-roofed with either wood shingles, 3-tab composition shingles, or "architectural style" composition shingles. If the roof slope is less than 4/12, rolled composition roofing may be used. Red, dark green, black, dark brown or green and white composition material is encouraged. Slate, tile or tar and gravel roofs may be re-roofed with like materials. The following roof materials are not permitted without Board approval: metal, fiberglass, plastic, corrugated roofing, or shake shingles. Any alteration to the overhang, soffit, or rake board requires Board approval.

HRB Policy #6 (First Adopted 9/88; Revised 6/91; Revised 2019) - Fences and Walls

The following policy is hereby adopted by the Oregon City Historic Review Board regarding the construction or alteration of fences and walls within Historic Districts, on designated sites in Conservation Districts, or on individual sites designated as landmarks.

Fences and walls are an extension of the architecture of the house. According to the Secretary of the Interior's Standards for Rehabilitation, additions such as fences "should be compatible with the size, scale, material and character of the property, neighborhood or environment." Fences in the front yard are typically more open and decorative, while fences in the side and rear yards are more utilitarian.

Front yard fences or walls and corner side yard fences or walls should be no more than 42 inches in height and shall not create a traffic sight obstruction (as defined in Chapter 10.32 of the Oregon City Municipal Code). Along rear yards and interior side yards (beyond the front ~~yard setback~~building line), fences or walls may be up to six (6) feet in height.

Fences or walls that are listed in the "ACCEPTABLE" category may be reviewed and a decision made by staff. The primary criterion to be used by staff shall be compatibility of the proposed fence or wall with the style and period of the designated structure. If the proposal within a historic district is not on a designated site, the primary criterion shall be compatibility with surrounding historic structures. ~~Either staff or applicant shall have the option of referring the plans to the Historic Review Board for resolution of doubtful or contested application of standards.~~ Fences or walls that are not listed, or that are specifically listed under the "NOT ACCEPTABLE" category must be submitted for review and decision by the Historic Review Board.

Hand rails on stairs within a yard are not regulated by the fence policy.

ACCEPTABLE FENCE AND WALL TYPES IN FRONT AND CORNER SIDE YARDS	
DESCRIPTION	EXAMPLE
Wood Picket: Wood fence with vertical pickets spaced at least one inch apart to six inches apart. Pickets may be pointed or straight, and boards may be flat or square. Includes traditional white painted (preferred); unpainted or different color paint is also acceptable. May be scalloped or straight on top, or topped with a railing.	
Iron Picket: Includes wrought iron picket fences with simple or ornate designs	
Ornamental Cast Iron: Victorian-inspired cast iron fences and gates	
Brick: Includes bricks of any color or size. Allowed in combination with other masonry types	
Basalt Stone: Basalt Stone was quarried locally in Oregon City's past. Basalt stone may be mortared or stacked. Basalt Veneer is typically mortared. This does not include manufactured stone veneer products. May be topped with bricks.	

<p>Combinations of Iron and Masonry: Brick, stone, or cast-in-place concrete with iron fencing atop or integrated into the wall</p>	
<p>Woven Wire: Decorative woven wire with loop top design and with wood posts and rails</p>	
<p>Cast-in-place concrete: Poured concrete wall with smooth or textured finishing</p>	
<p>Steel or aluminum rail: Permitted only on non-residential properties (e.g. commercial buildings, schools, religious institutions)</p>	
<p>Solid wood board (un-spaced picket): only when it does not obscure the view of the home (e.g. home is higher in elevation than fence) or when used on a non-contributing property in Canemah</p>	

NOT ACCEPTABLE FENCE AND WALL TYPES IN FRONT AND CORNER SIDE YARDS

DESCRIPTION	EXAMPLE
<p>Chain-link: Consists of steel wire woven to form a diamond-shaped mesh. Includes uncoated, powder coated, and with or without slats. Also includes chain-link hedge slats.</p>	 
<p>Post and Rail / Split Rail: Also known as a log fence, zigzag fence, worm fence or snake fence, made out of timber logs, usually split lengthwise into rails. Uses two to four rails and is divided into sections with wood posts.</p>	 
<p>Concrete Block: Includes pre-cast panels, CMU, hollow or solid blocks. Both split faced and smooth.</p>	 
<p>Chicken Wire: Unframed fence of thin, flexible metal wire with varied pattern including hexagonal or rectangular shapes. Known as chicken wire, hog wire, or welded wire. May include repeating wood or metal posts.</p>	
<p>Solid wood board or Stockade: Wood fence with vertical or horizontal boards and no spacing. Includes good neighbor fence and stockade fence. May be topped with lattice or other wood design. May have a scalloped or straight top. Not allowed when obstructing view of historic structure.</p>	 

Vinyl/ Plywood / Hardboard or Asbestos Panel: Plastic, vinyl, fiber cement or asbestos panels. Includes solid fences/walls or those designed to look like wood picket fences.



ACCEPTABLE FENCE AND WALL TYPES IN ALLEYS, REAR AND INTERIOR SIDE YARDS

DESCRIPTION

EXAMPLE

All that are acceptable in front yards

Concrete Block: Includes pre-cast panels, CMU, hollow or solid blocks. Both split faced and smooth.



Horizontal Board: Wood fence with horizontal boards. Boards may be spaced or have no spacing. May be topped with lattice or other wood design.







Solid wood board or Stockade: Wood fence with vertical or horizontal boards and no spacing. Includes good neighbor fence and stockade fence. May be topped with lattice or other wood design. May have a scalloped or straight top.



Wood lattice: Diagonal or vertical/horizontal pattern of wood panels with spacing.



Gabion wall: Consists of rocks or stones enclosed in a metal wire basket	
Goat fence: Welded wire fence with frame of wood around each panel. Known as wire trellis fence, goat fence or livestock fencing.	
Non-basalt stone: May include sandstone, limestone, lavarock, or other rock that would not have been quarried locally and used in the historic era.	
Recycled Concrete: Irregularly sized concrete pieces or chunks stacked like stones.	
NOT ACCEPTABLE FENCE AND WALL TYPES IN INTERIOR AND SIDE YARDS	
All that are not acceptable in front yard, unless explicitly listed as acceptable in interior side yards, alleyways, and rear yards.	

Fences and Walls in Front Yards and Corner Side Yards

ACCEPTABLE	NOT ACCEPTABLE
Iron Picket	Chain-link
Ornamental Cast Iron	Post and Rail / Split Rail
Brick	Concrete Block
Combinations of Iron and Masonry	Stockade
Wood Picket — flat boards or square vertical	Plywood / Hardboard or Asbestos Panel
Woven Wire if installed according to height Available from manufacturer and with wood	Hollow, Twisted Wrought Iron

posts and rails	
	Mixed Material Diagonal Board (e.g. brick/wood/vinyl)

Fences in Interior Side Yards, Alleyways and Rear Yards

ACCEPTABLE	NOT ACCEPTABLE
All that are acceptable above	All that are not acceptable above
Concrete Block	
Horizontal Board	
Staggered Vertical Board (good neighbor)	
Solid Wood – flat-topped, clipped top or capped vertical	

HRB Policy #7 (First Adopted 8/96) – Construction of Accessory Structures

Accessory structures which are 200 square feet or smaller may be reviewed and decision made by staff. The primary criteria to be used by staff in making the decision shall be as follows:

The building/structure materials shall match the primary resource structure;

The roofing materials shall match the material on the historic/primary resource structure; if the roofing material on the historic/primary structure is not compatible, Historic Review Board Policy #5 shall apply;

The accessory structure shall be painted to match the historic/primary resource;

The structure shall be placed a minimum of three (3) feet from any interior lot line as per Section 17.54 - Accessory Structure Standards.

Any structure that does not meet this standard shall be referred or submitted to the Historic Review Board for review and decision.

HRB Policy #8 - Exterior Alterations to Buildings in National Historic Districts, or Structures in Conservation Districts or Landmark Structures

Additions shall be reviewed by the Historic Review Board. Other alterations are subject to administrative review. Alterations are permitted if they duplicate existing building materials and styles. Wood siding is encouraged if the siding is replaced. Aluminum and vinyl siding and vinyl and aluminum mill finish windows are not permitted, unless the building was originally constructed of such materials and they are the predominant materials on the building. Wood sash doors are encouraged. Roof alterations shall conform to Historic Review Board Policy #5.

HRB Policy #9 - Screen Doors

Screen doors shall be compatible with the material, style and period of the designated structure.

Policies 1-9 were reviewed and revised by the HRB at worksessions on October 12, November 9, 2000, and December 14, 2000, and were formally adopted on December 14, 2000 at the HRB's duly noticed public meeting.

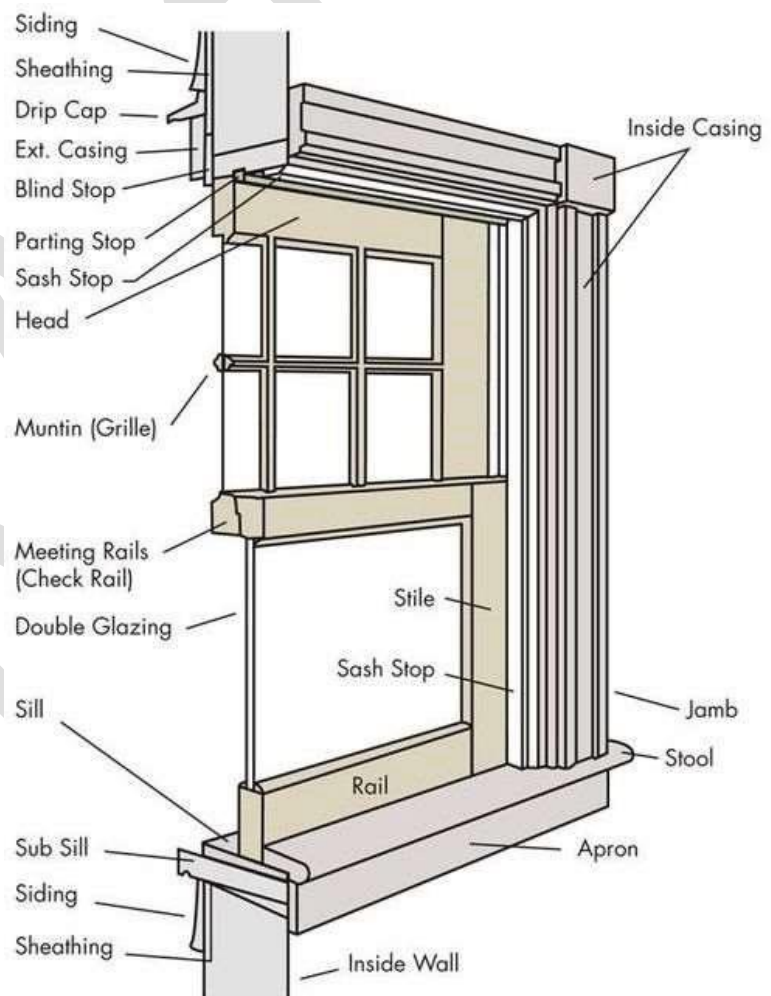
HRB Policy #10 (Adopted 10/2001; Revised 2019) - Window Repair and Replacement

Original wood windows are important architectural features in any historic building. They are the "eyes" of the structure and they convey a sense of handcraftsmanship and detail that cannot be achieved with substitute materials. The Historic Review Board maintains that original windows

should be retained and repaired whenever possible, ~~and replacement~~ If repair is not feasible, replacement of windows ~~should be with in-kind materials~~ is acceptable in accordance with the following:

- a. Replacement of windows on any structure listed on the National Register must be reviewed by the Historic Review Board.
- b. Wood, aluminum clad wood, and fiberglass clad wood windows are permitted replacement windows on locally designated historic structures if they match the original window design. A different window type may be used (for example, casement in place of a picture window) as long as the appearance, including muntins, is the same. It is the owner's responsibility to document the design of the original windows.
- c. If a structure was originally built with aluminum or vinyl windows, vinyl replacement windows are permitted.
- d. Fiberglass and wood/plastic blended material windows are permitted on new and existing accessory structures, and on new and existing non-contributing structures in Canemah.
- e. Interior window grids are not permitted.
- f. Replacement windows should match dimensions of original window stiles, rails, and sill depth as closely as possible.
- g. Any proposal that does not meet these policies may be reviewed by the Board. The applicant shall provide a determination of the window's architectural significance and condition to assist the Historic Review Board to determine the repair and replacement options for the property.

~~For all exterior alterations, involving windows, to: all structures in the Canemah National Register District, designated structures in the McLoughlin Conservation District and other local Landmarks, the applicant will provide a determination of the window's architectural significance and condition to assist the Historic Review Board to determine the repair and replacement options for the property.~~ Owners of non-designated structures are also encouraged to follow this policy for window repair and replacement.



HRB Policy #11 (Adopted 2019) – Porches and Decks

Repair or replacement of original porch elements shall meet HRB Policy #8. New front porches shall be reviewed by the Board. Changes to existing front porches, or construction of new rear porches or decks are permitted without Board review in accordance with the following:

- a. Porch and deck railings shall use vertical balusters and top and bottom rails. Baluster attachment shall be between the rails, not attached on the side of the rail.
- b. Wood decks and porches shall be painted to match a color of the designated structure. Paint-stain is also acceptable if it matches the designated structure.
- c. No pressure treated wood shall be visible.
- d. Composite material (e.g. Trex, Timbertech, Azek) is allowed only for rear decks or porches, decks on the side of a structure that are not on a street corner, and for detached deck structures. Composite material color shall match a color of the designated structure.
- e. Aluminum rails on porches and decks are not permitted.
- f. Fully vinyl deck or porch materials are not permitted.

HRB Policy #12 (Adopted 2019) – Solar Technology

Solar technology that meets the criteria in the list below may be utilized on historic properties through staff review. Any proposal that deviates from this policy may be considered by the Board.

- a. Sloped roof location: Solar panels are permitted on secondary facades of historic buildings and on accessory structures.
- b. Design: Panels on sloped roofs shall be low-profile and installed flat; they shall not alter the slope of the roof.
- c. Color: Panels and mounting systems shall be compatible in color to established roof materials. Mechanical equipment associated with the photovoltaic system shall be as unobtrusive as possible.
- d. Flat roof structures: Solar panel installations on flat roofs shall be set back from the roof edge to minimize visibility. Pitch and elevation shall be adjusted to reduce visibility from public right-of-way.
- e. Shingles: Solar shingles are permitted on secondary facades if they match the roof color.
- f. Freestanding: Freestanding or detached on-site solar technologies are permitted in locations that minimize visibility from the public right of way and/or are screened from the public right of way with fencing or vegetation.