



CITY OF OREGON CITY

Historic Review Board

698 WARNER PARROTT ROAD
OREGON CITY, OREGON 97045
TEL (503) 722-3789
FAX (503) 722-3880

Historic Preservation Renovation Grant Application

Please Print Clearly

Grant Application File # PG 19-01 (staff to fill out)

Date: April 12, 2019 Applicant Name: Mike and Connie Jarrett

Site Address: 415 Jefferson Street

Phone Number: 503- 577-4752 E-mail address: jarrettmjc@gmail.com

Historic Name: Ferdinand and Sarah McCown House Architectural Style: Colonial Revival

Previous Grant Approval File #'s: Not applicable Total Amount: Not applicable

How did you hear about the program?: Mailings from the City of Oregon City

APR12 3:09PM

Project Description: Briefly explain the proposed work and materials to be used. If you are planning to paint your historic building, please attached a paint sample for approval. **Note: SOME ALTERATION MAY REQUIRE HISTORIC REVIEW BOARD REVIEW AND/OR BUILDING PERMITS. Please Contact staff to determine if your project requires a building permit.**

Project description:

The proposed work consists of the following:

- Replacement of an existing 4/4 double hung wood window. The window will be replicated exactly to match the original window. This window is on the south elevation of the house and had deteriorated beyond repair. This elevation of the house is buffeted by the brunt of weather.
The bids outline a replacement window to match the existing 4/4 double hung windows throughout the house.
- Construction and installation of storm windows for the entire house. These windows will protect the original wood windows especially those to be placed on the south elevation.

Historic Significance: Describe how the project will enhance the historical nature of, or preserve, Renovate or rebuild, the historical aspects of the structure.

Historic significance:

The Ferdinand and Sarah McCown house was constructed circa 1874. The house is constructed in the colonial revival style. The house has retained all of its original features with the exception of a single story gabled addition to the west and a shed roof attached garage to the south. It sits on a board formed concrete foundation and is clad in beveled lap siding with corner boards. A wide frieze and rake board make the connections to the gable roof with enclosed eaves. The windows are primarily 4/4 wood double-hung with a substantial surround and decorative hood.

The roof is covered with composition shingling and there is a centrally located chimney. On the front elevation there are louvered shutters. An oriel bay window is on the north façade and there is a small lunette in the gable. The front porch has a flat roof, atop a blank frieze with small modillions, supported by chamfered decorative columns. There are pilasters where the porch meets the wall. Following the edge of the porch roof is a classical turned balustrade. The unique front door consists of double doors with a two-pane transom.

The proposed projects will help extend the life of the original wood windows by replacing the one window (that is beyond repair) and the storm windows will protect the other original windows of the house.

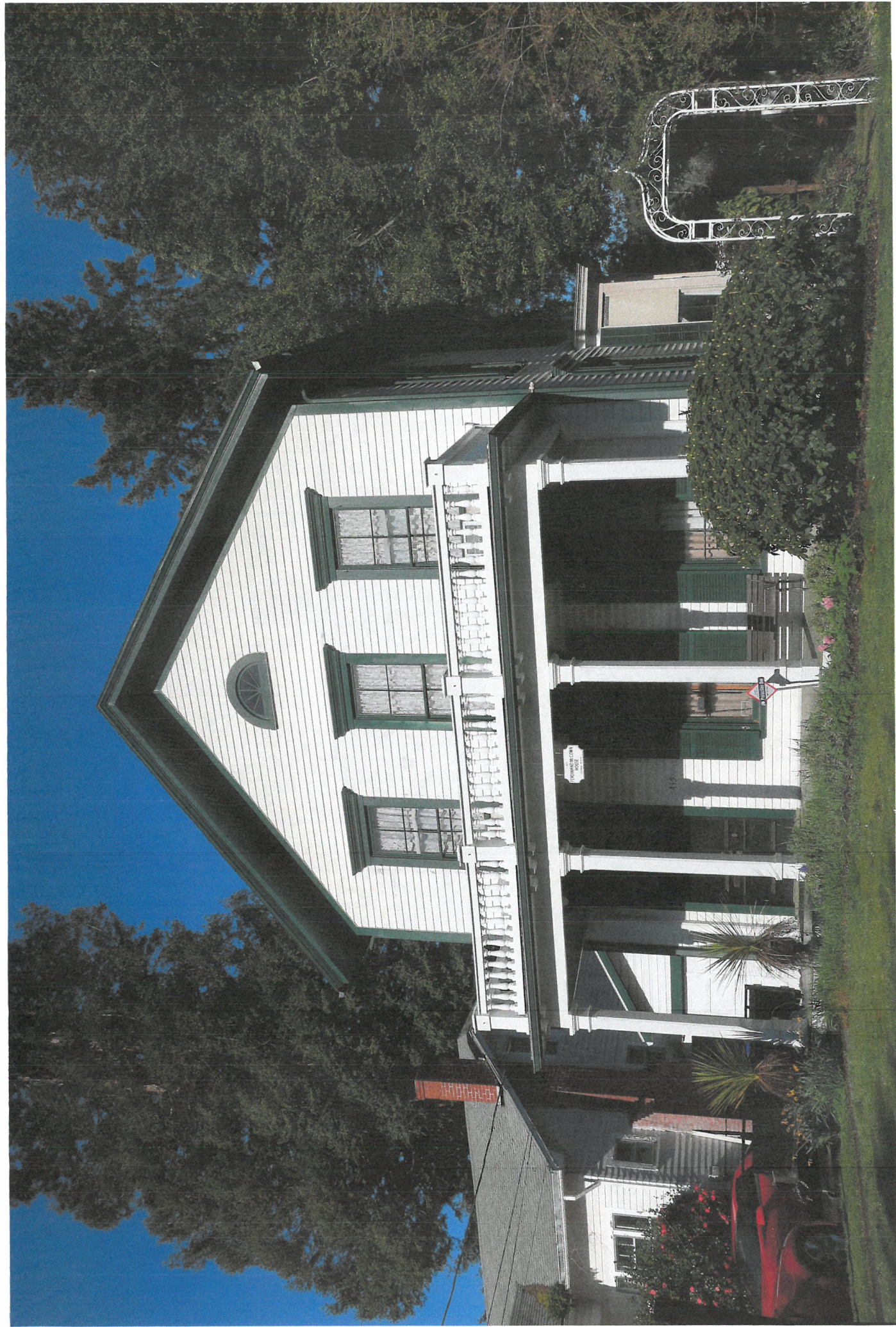
Historical Documentation: Indicated any physical evidence, such as old paint lines, original Moldings, historic photographs, etc. that support your request to alter the exterior.

The photographs show the windows on the house and the damage to the south elevation, in addition to all of the elevations of the house.

OREGON CITY HISTORIC RESOURCE SURVEY FORM

Street Address: 415 JEFFERSON ST					City: OREGON CITY	
USGS Quad Name: Oregon City			GPS Latitude: 45 21 14 N		Longitude: 122 36 19 W	
Township: 02S	Range: 02E	Section: 31	Block: 104	Lot: 2	Map #: 22E31AC	Tax Lot #: 7600
Date of Construction: c. 1874		Historic Name: McCown, Ferdinand and Sarah, House			Historic Use or Function: Domestic - single dwelling	
Grouping or Cluster Name: NA		*Current Name or Use: Domestic - single dwelling			Associated Archaeological Site: Unknown	
Architectural Classification(s): Colonial Revival				Plan Type/Shape: Rectangle		Number of Stories: 2.0
Foundation Material: Concrete				Structural Framing: Unknown		Moved? No
Roof Type/Material: Gable / Composition shingle				Window Type/Material: 4/4 wood double-hung		
Exterior Surface Materials Primary: Bevel (lap)				Secondary:		Decorative:
Exterior Alterations or Additions/Approximate Date: Shed roofed attached garage						
Number and Type of Associated Resources: None						
Integrity: Good		Condition: Good		Local Ranking: Designated Historic Site		National Register Listed? No
<p>Potentially Eligible: <input type="checkbox"/> Individually or <input checked="" type="checkbox"/> As a contributing resource in a district</p> <p>Not Eligible: <input type="checkbox"/> Intact but lacks distinction</p> <p><input type="checkbox"/> Altered (choose one): <input type="checkbox"/> Reversible/Potentially eligible individually or in district</p> <p><input type="checkbox"/> Reversible/Ineligible as it lacks distinction</p> <p><input type="checkbox"/> Irretrievable loss of integrity</p> <p><input type="checkbox"/> Not 50 years old</p>						
Description of Physical and Landscape Features:						
<p>This two story colonial revival residence has a rectangular plan with a single story gabled addition to the west and a shed roof attached garage the south. It sits on a board formed concrete foundation and is clad in beveled lap siding with corner boards. A wide frieze and rake board make the connections to the gable roof with enclosed eaves. The roof is covered with composition shingling and there is a centrally located chimney. The windows are primarily 4/4 wood double-hung with a substantial surround and decorative hood. On the front elevation there are louvered shutters. An oriel bay window is on the north façade and there is a small lunette in the gable. The front porch has a flat roof, atop a blank frieze with small modillions, supported by chamfered decorative columns. There are pilasters where the porch meets the wall. Following the edge of the porch roof is a classical turned balustrade. The unique front door consists of double doors with a two-pane transom.</p>						
Statement of Significance:						
<p>This was originally the home of Ferdinand O. McCown (1839-1891) and his wife Sarah Meldrum McCown (c.1845-1932). Born in West Virginia, Ferdinand McCown crossed the plains in 1852. After studying law at various institutions, he set up a practice in Waconda in 1862. In 1863, he joined the 1st Oregon Volunteers, mustered a company and served a Fort Colville. After his discharge, he settled in Oregon City, where he practiced law in partnership with W.C. Johnson from 1864 to 1889. In 1865, he married Sarah Meldrum, who had crossed the plains with her family as an infant in 1845. McCown served three terms as mayor of Oregon City, and was a co-founder of the Oregon City Electric Company and organized a stock company to improve the Barlow Road. The McCown family lived in the house until the mid-1890s, when the house became a rental. The house changed hands a number of times between 1893 and 1920, when Mary and Angus Matheson bought the property. The house continued as a rental until 1943, when William P. Foster and his wife Ruth bought the house. The Fosters had been in the house since about 1940, and William was a teacher and principal at local schools through the 1940s. By 1953 he had become an advisor to the Lumberman's Industrial Relations Committee, and Ruth was a clerk at the First National Bank. The Fosters lived in the house until they sold the property in 1980.</p>						

Researcher/Organization: Carin Petersen / HPNW		Date Recorded: 4/6/2002	
Survey Form Page 1	Address: 415 JEFFERSON ST	Local Designation #	SHPO #



East (front facing Jefferson St.) elevation



Window from south elevation - upper floor





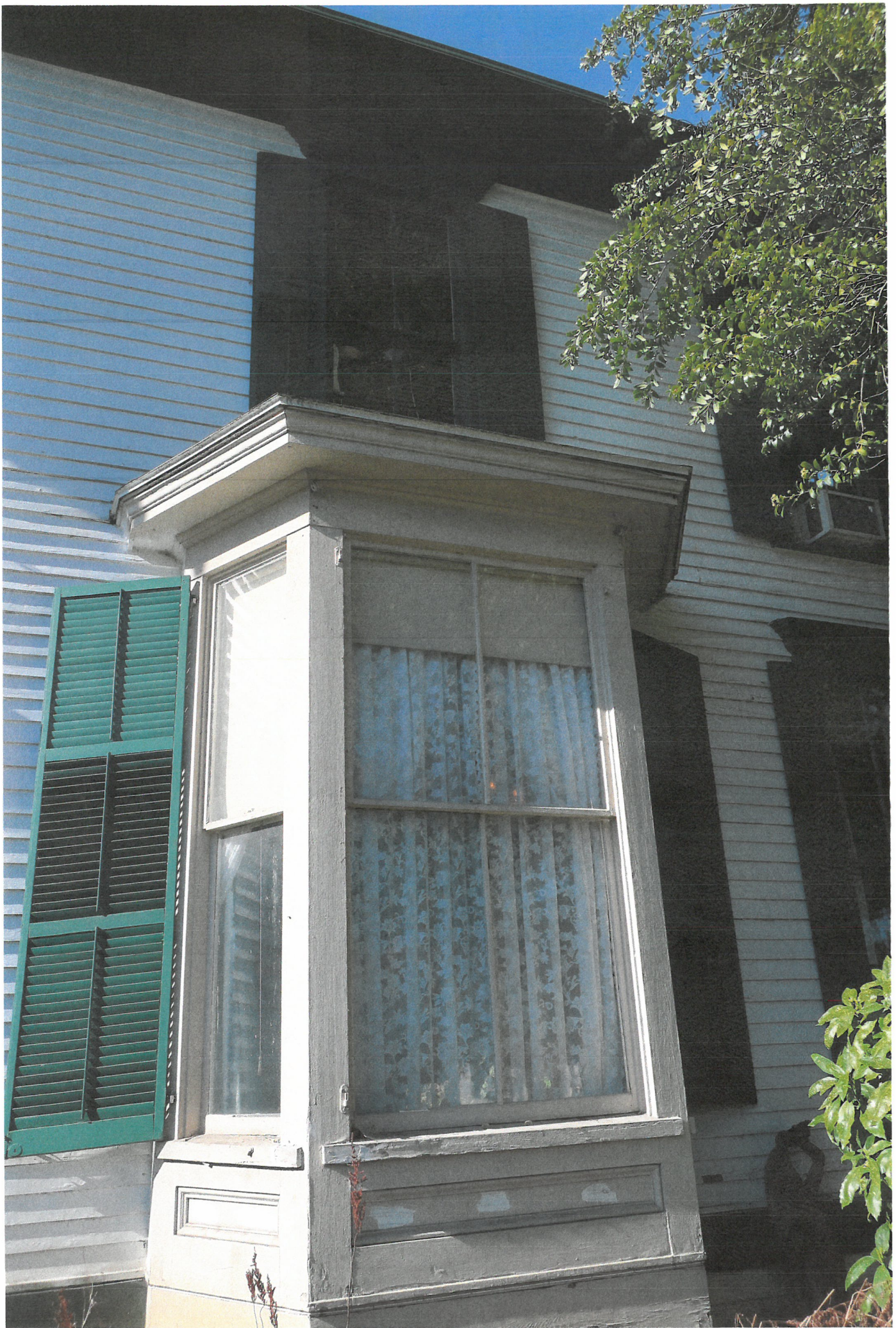




North elevation - right side



closeup - north elevation - right side



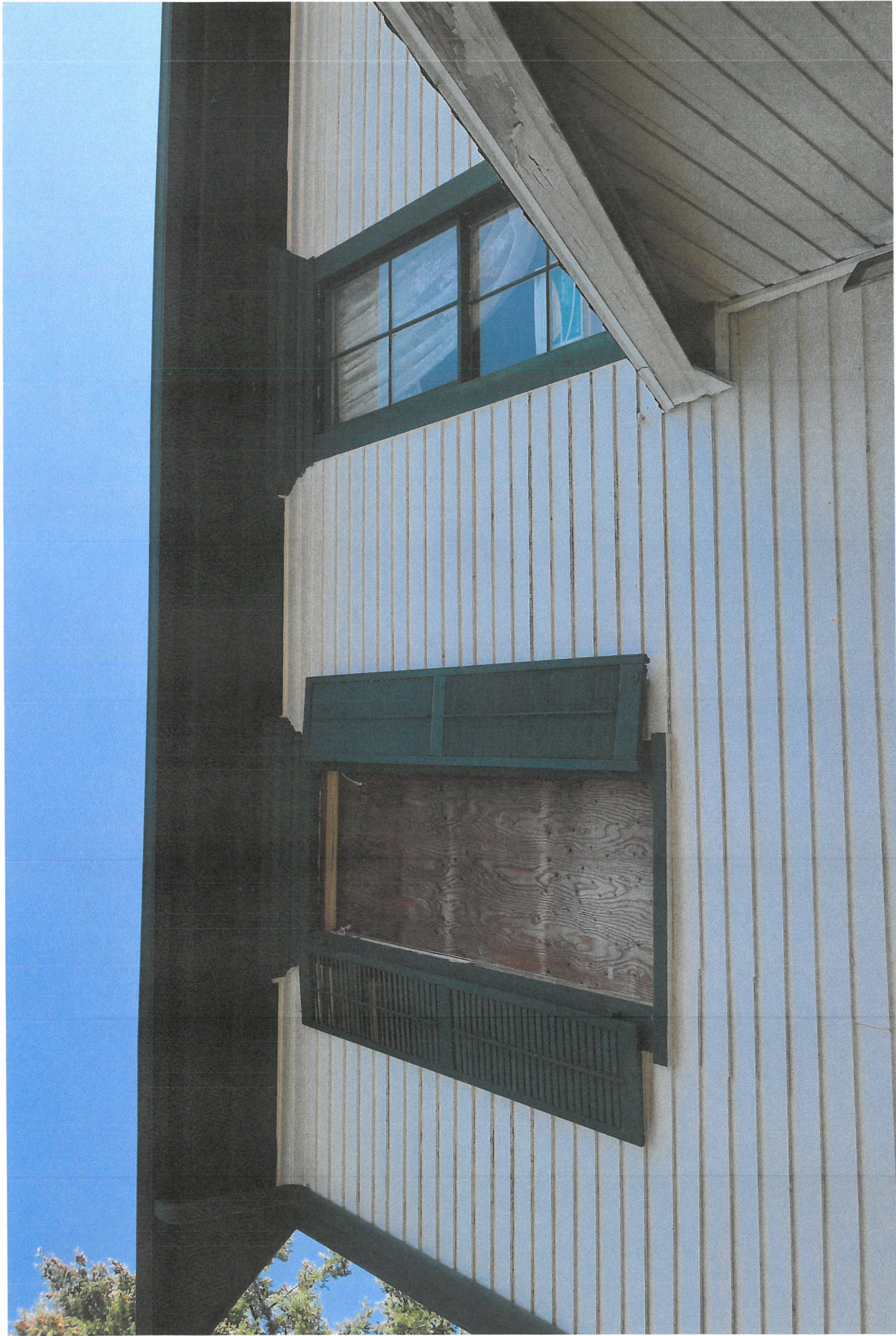
north elevation - right side



west elevation - rear



14. south elevation - left side



15. south elevation - left side



southelevation - lower level - left side

South elevation - left side



Project Costs: Attach the contractor's bids, or a list of estimates for materials. Eligible Labor costs are limited to be performed by a licensed contractor(s).
(Example of materials estimates: Paint: 10 gallons @\$25/each= \$250; Siding (drop lap): 600 feet, 1 "x 6 " @ \$1/foot = \$600

Cost estimates/Bid # 1: Wood double hung sash replacement window: \$ 420.00

Cost estimate/Bid # 2: Half of the bid for exterior storm window: \$6,343.80

The proposed project is to replace the deteriorated window with a new custom built one to match the original. The storm window proposal is broken into two parts: complete ½ the windows under this grant and reapply for the second half next year. The storm windows to be completed under this grant would be the entire south (left side) elevation and the entire east (front) elevation.

Truax Builders is the only company to have aluminum storm windows in the entire metro area.

Total Grant amount requested (up to 50% of project cost, maximum amount \$1,000): \$ 1,000.00 (or more if available)

Project Scheduling:

Beginning Date: As soon as grant is approved

Completion Date: Within one year of start date

Project must be completed within the grant cycle of July 1 – June 30. Contact staff if you need an extension. Contact staff when you actually begin the proposed work, and when you finish the project. Preservation staff will inspect the work when the project is completed.

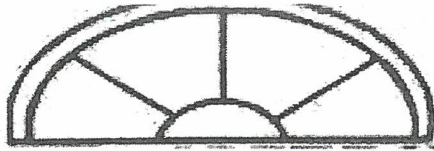
I have read the Oregon City Design Guidelines for Exterior Alteration and agree to do the project as submitted and approved within the grant cycle. I will notify the Board when I begin the project and when the project is completed.

Signature: _____

Michael Jarrett

Date: _____

April 12, 2019



Wooddale Windows LLC (503) 719-4506

Wood Window Specialist
Dale K. Farley
Complete Wood Window Repair – Restoration

7002 NE 79th CT
Portland OR 97218

39 years of craftsmanship in the NW

Email: WOODDALEWINDOWS@YAHOO.COM
WWW.WooddaleWindows.net

12-21-18

Mike Jarret 415 Jefferson St Oregon City 97045 503-577-4752 jarretmcj@gmail.com

Quote: Wood Double Hung Sash Only
Clear vertical grain fir kiln dried
1/8" clear annealed glass - putty glazed
True divide lites 2w x2h each sash
3/8 horizontal bar - 1/4" vertical bar
2-1/4" top rail 1-3/4" stiles 2-3/4" bottom rail bevel 10 degrees
1-1/4" check rail with 1-7/8 top face
No hardware - bare wood

1 @ Top sash 33-5/8 x 43 x 1-1/2" thick \$210.00

1 @ Bottom sash 33-5/8 x 43-5/8 x 1-1/2" thick \$210.00

We agree to and have included in the price above the material only thereon for the sum of \$420.00

Terms: An advance deposit of 50% is required with the balance due upon completion

Estimate Vocabulary

Wood: [Barcode]

[Barcode]

identify the original manufacturer of the part.

Glass: [Barcode]

Other: [Barcode]

[Barcode]

Boron Rods...Boron Rods are a sacrificial preservative used to preserve timber

Disclaimers

Alarms: Chosen Wood Window Maintenance, Inc is not responsible for any alarm system repairs that may be required due to dry rot repair and/or glass replacement.

Dry Rot: On dry rot repair, all material will be primed on exterior only. We do not fill nail holes, prep or finish paint.

LowE: Due to the constantly changing nature of the manufacturing of LowE types, unless a specific type of LowE is specified by the customer and is available from our suppliers, there is no guarantee that LowE glass we provide will match existing LowE product.

Paint: On Dry Rot repair, all material will be primed on exterior only. We do not fill nail holes or prep and finish paint.

SLIPS: SLIPS come primed in a off white-beige. SLIPS can be painted upon request with charge.

No-Show Policy: A No-Show charge will be applied to jobs when a Chosen professional arrives and is unable to complete the scheduled work due to customer absentee. If a customer can not be present during appointment, arrangements can be made. This also applies to less than 48 hour cancelations.

Payment: 50% Deposit is required to order materials. Visa/MasterCard/Check may be used for deposit. Payment is due at completion of the job. Customer must make themselves available for walk thru at the time of completion. Return trips for unavailable customer walk thru are subject to additional service charge.

Please review this estimate, along with disclaimers, sign and return a copy with your 50% deposit for all items you would like done. If Revisions are required or you have questions on the estimate, please contact us!

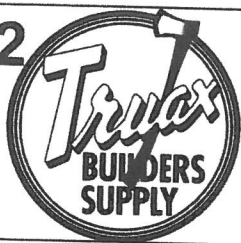
Signature

Date

All material is guaranteed to be as specified. All work to be completed in a workman like manner according to standard practices. Any alteration or deviation from above specifications involving extra costs, will be executed upon only upon written orders and will become an extra charge over and above the estimate. By signing this estimate, you are accepting the above prices, specifications and conditions and are authorizing the work to begin as specified. **Payment will be due at the time work is completed.** This estimate subject to acceptance within 30 days and is void thereafter at the option of Chosen Wood Window Maintenance. Materials will be purchased based on your acceptance of this estimate. Should you cancel, you will be billed for materials purchased. OR CCB#132834, WA CCB#CHOSEWW008KJ

Chosen Wood Window Maintenance
18574 Pacific Highway East
Oregon City, OR 97045
503-266-3830

12



10949 SE Division St.
Portland, Oregon 97266-1297
Ph. (503) 256-4066 Fax. (503) 256-4140
www.truaxnw.com

CCB #21508

Quote

Date **2/15/19**
Job Name
Purchaser **Michael Jarrett**
Phone **503-577-4752**
Phone 2
Email **jarrettmcj@gmail.com**

Quote #

Purchaser:

120351**Michael Jarrett**

Contact

Salesperson **Myranda Hamilton****TERMS: Net10th**

Address of Project:

Notes:

Wall Face and Level of Structure:

2/22/2019415 jefferson st
Oregon City, OR**1 & 2 floor storm windows possibly 1
wood screen door**

QTY	DESCRIPTION	PRICE per	AMOUNT
	Provia Forest Green Storm Windows with Expanders		
2	33 1/2 x 85 3/4 SH	\$354.00	\$708.00
1	48 1/4 x 37 1/2 PW	\$225.00	\$225.00
2	33 1/2 x 85 3/4 SH	\$520.00	\$1,040.00
2	37 1/4 x 58 1/2 PW	\$225.00	\$450.00
1	39 3/4 x 47 1/4 PW	\$225.00	\$225.00
1	30 x 34 1/4 PW	\$203.00	\$203.00
1	27 7/8 x 38 3/4 SH	\$275.00	\$275.00
2	28 x 38 1/2 SH	\$275.00	\$550.00
1	33 1/2 x 85 3/4 SH	\$520.00	\$520.00
	Truax Mill Finish 120 Inserts w/ Expanders		
4	33 1/2 x 97 3/4	\$271.32	\$1,085.28
1	24 1/8 x 97 1/2	\$251.94	\$251.94
1	24 x 97 1/2	\$251.94	\$251.94
1	50 1/4 x 97 1/4	\$329.46	\$329.46
1	33 1/4 x 85 3/4 Temp	\$417.56	\$417.56
2	33 1/2 x 85 3/4 Temp	\$417.56	\$835.12
1	31 3/4" x 80 , Hinge Left, Wood Screen Door, Two Vertical Raised Panel, Screen Fixed To Unit, Customer To Stain & Return For Screening,	\$703.50	\$703.50
1	Hardware: Brass Edge Latch & Brass 1/2 Surface Hinges	\$88.00	\$88.00
	Installation	\$4,528.80	\$4,528.80
THIS QUOTE WILL BE EFFECTIVE FOR 30 DAYS FROM THE QUOTATION DATE - CONDITIONS APPLY		SUBTOTAL	\$12,687.60
		DEPOSIT	
		BALANCE	\$12,687.60

CONDITIONS - A service Charge will be assessed on all past due accounts at the rate of 1.5% per month. All claims must be filed within 10 days of receipt of merchandise. Merchandise will not be accepted for return after 30 days from invoice date. Restocking charge on all returned merchandise. No returns without our authorization and our invoice number. Orders not picked up within 30 days of notification of completion are subject to 1.5% Service Charge. Truax is not responsible for items unclaimed 30 days after completion. Items left over 90 days will be sold to cover storage costs. No returns on special orders or modified, damaged or customer finished products even if wrong size. All items are sold unfinished unless otherwise stated above.

ALL QUOTATION SHEET PRICES ARE SUBJECT TO INSPECTION OF JOB SITE AND ACCEPTANCE BY TRUAX BUILDERS SUPPLY, INC
THIS IS ONLY A (QUOTATION) ESTIMATE AND MAY CONTAIN ERRORS IN COMPUTATION WHICH ARE SUBJECT TO CORRECTION ON INVOICE SHEET.
THANK YOU FOR YOUR BUSINESS!

WINDOW REPAIR WORKSHEET

Project Address:

Window #

keyed to site

Window Location:

map

CONDITON	Excellent	Good	Fair	Poor
1. Overall Condition Of The Window				
2. Condition Of The Paint				
3. Condition Of The Frame And Sill				
4. Condition Of The Sash				
5. Condition of The Rails				
6. Condition of The Stiles				
7. Condition of The Muntins				
8. Condition of Hardware				
9. Glazing Problems				
10. Other:				

PLEASE PROVIDE AN INTERIOR/EXTERIOR OR CONTEXT PHOTO FOR EACH WINDOW

Email from applicant with additional info:

I don't plan on replacing the original windows just protecting them. Currently, they are almost all original. Some have been repaired, protected windows are still in pretty good shape, but the one needing to be replaced has dry rotted muntins and are fragile and broken. I am planning to replace it with a wood replacement. Wooddale appears to be the only shop that does wood replicas and Chosen appears to be the only shop that makes the aluminum storms. Wood storms can be had at both shops, but due to width of the stile boards, they will alter the window design and are as high maintenance as the original windows over time. Aluminum storms come highly recommended by most shops that I talked to, but are being replaced by synthetic, sealed, double pane windows that are billed as more energy efficient. So, they just are no longer available.

May 2, 2019

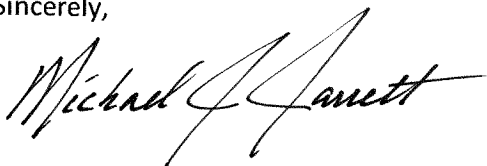
MAY 21 10:01 AM

To Whom it May Concern,

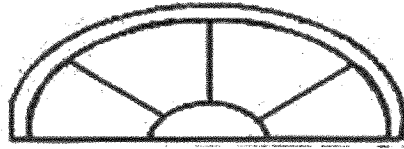
Last year, Denyse McGriff encouraged me to apply for the City's windows grant for contributing homes in the McLoughlin District. I own the McCown House at 415 Jefferson St. The home's construction date is 1874 and nearly all of its historic windows are still serving the home. Sadly, Father Time does take his toll. Though, I have diligently removed many windows and repaired those that needed help, I have one that is beyond my ability to save. There may be several more associated with the bay extension. After discussing my situation with craftsmen, folks at the Historical Review Board, Denyse McGriff, and Dale at Woodale Windows, I decided it was time for storm windows to cover and preserve all the windows. Though it is my understanding that unless you allow an exception to the rule, your matching grant will not cover aluminum windows, I have chosen to use them. That leaves one wood window to be replaced and a missing wood screen door, in period style, I have ordered. It might be eligible if you accept the technicality that, though the screen door is a door, it is also mostly a window.

It is my understanding that my grant application will be reviewed in May and possibly again in June. Unfortunately, I will not be in town on the day of the meeting in May. However, Denyse McGriff will be available. So, knowing that she understands just about everything associated with this project, I am designating her to act as my spokesperson during the May proceedings. I have supplied her with copies of all the bids, photographs, and information concerning the project, and am confident that she can represent me during this process.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Jarrett". The signature is fluid and cursive, with the first name "Michael" written in a larger, more prominent script than the last name "Jarrett".

Michael Jarrett



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Email: WOODDALEWINDOWS@YAHOO.COM
WWW.WooddaleWindows.net

5-15-19

Based on what I can see from the photos the damage to this sash looks pretty extensive.

I would recommend a complete reproduction. The top sash at the checkrail corners is just gone.

The rot has gone up the sides and leaves you nothing to attach the check rail to. The bottom sash is in poor shape, would not last in a repair. The mutton bar is held together with sting and badly rotten.

The hope of the bar to hold glass just is not there.

Wooddale Windows LLC
Dale Farley
Owner
503-719-4506