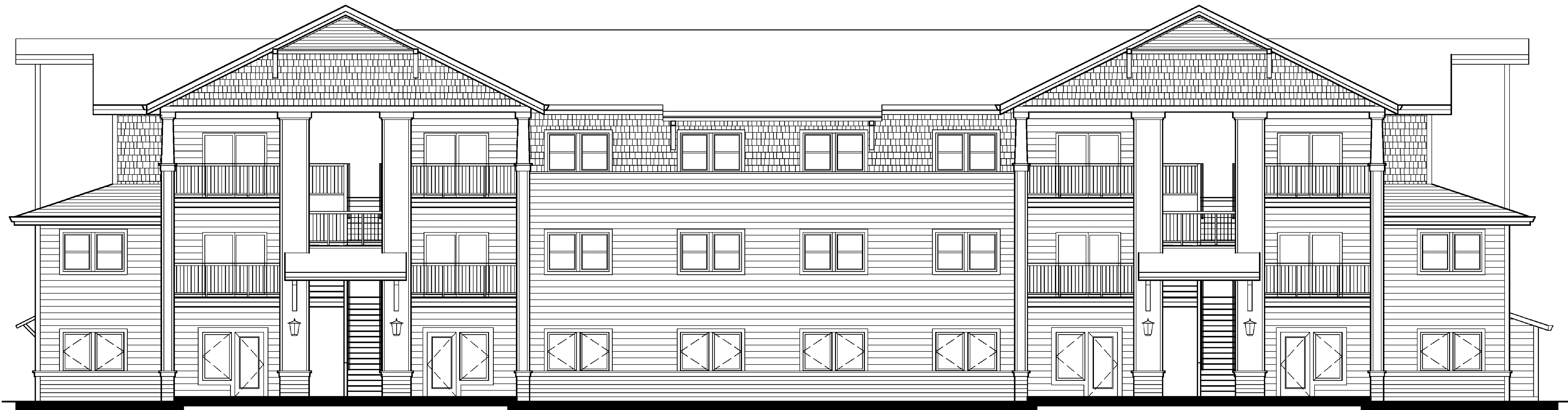


THE COVE GARDEN APARTMENTS



PROJECT TEAM

DEVELOPER

GRAND COVE, LLC
4502 S ULLSTER STREET, SUITE 1200
DENVER, CO 80237

ATTN: PAUL HERSKOWITZ
EMAIL:
TEL: 720.272.7226
FAX:

LANDSCAPE ARCHITECT

CARDNO
5415 SW WESTGATE DRIVE, SUITE 100
PORTLAND, OR 97221

ATTN: PAT GAYNOR, RLA
EMAIL:
TEL: 503.419.2500
FAX: 503.419.2600

PLANNING

CARDNO
5415 SW WESTGATE DRIVE, SUITE 100
PORTLAND, OR 97221

ATTN: READ STARLETON, AICP
EMAIL:
TEL: 503.419.2500
FAX: 503.419.2600

SURVEYOR

CARDNO
5415 SW WESTGATE DRIVE, SUITE 100
PORTLAND, OR 97221

ATTN: PAT GAYNOR, RLA
EMAIL:
TEL: 503.419.2500
FAX: 503.419.2600

ARCHITECT

HILL ARCHITECTS
1750 BLANKENSHIP ROAD, SUITE 400
WEST LINN, OR 97068

ATTN: LLOYD HILL
EMAIL: LLOYD@HILLARCHITECTS.COM
TEL: 503.305.8033
FAX: 503.305.8034

GEOTECHNICAL ENGINEER

APEX
3015 SW FIRST AVENUE
PORTLAND, OR 97201

ATTN: STUART ALBRIGHT
EMAIL: SALBRIGHT@ASHCREEKASSOCIATES.COM
TEL: 503.924.4704
FAX: 503.943.6357

CIVIL ENGINEER

CARDNO
5415 SW WESTGATE DRIVE, SUITE 100
PORTLAND, OR 97221

ATTN: BEN WILLIAMS, PE
EMAIL:
TEL: 503.419.2500
FAX: 503.419.2600

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MATERIAL BOARD

CIVIL - DDP

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SITE LIGHTING

1 HL STEARNS SITE LIGHTING

HILL
ARCHITECTS
1750 BLANKENSHIP ROAD
SUITE 400
WEST LINN, OREGON 97068
TEL 503.305.8033 FAX 503.305.8034

THE COVE
GARDEN APARTMENTS

OREGON CITY, OREGON
FOR PACIFIC PROPERTY MARCH LLC

THIS WIDTH SHOULD BE 3"

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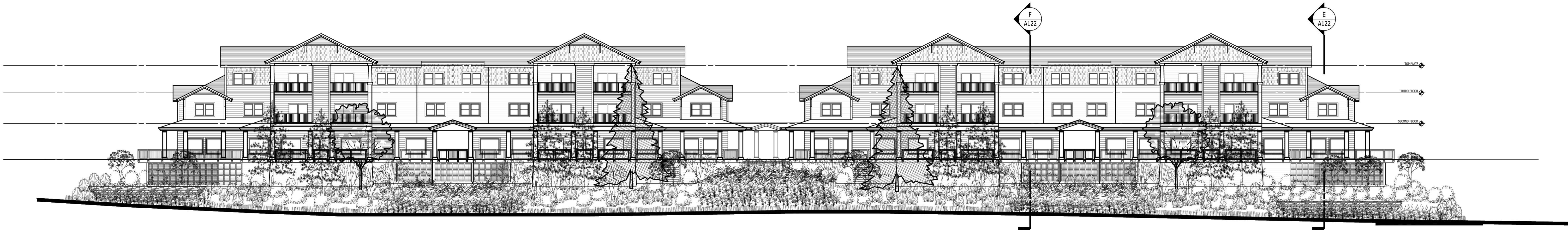
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COVER SHEET

DDP

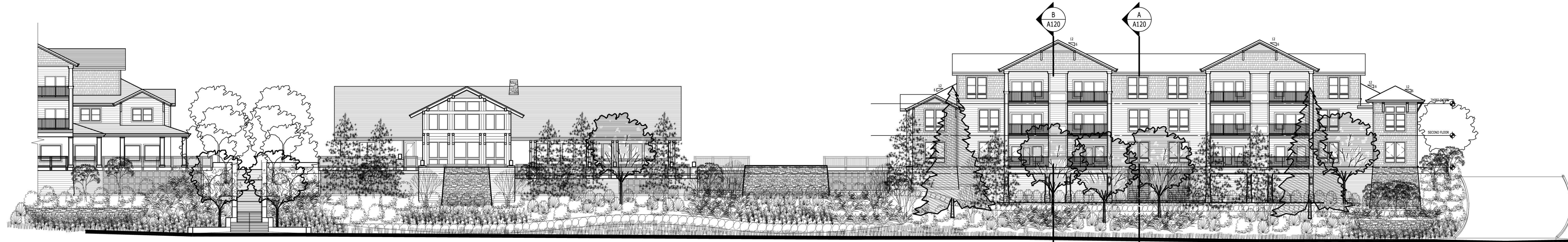
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Date: Wednesday, August 26, 2015 11:40:32 AM / Location: P:\2014_0801\4688 Cove Garden Apartments - Simpson\8 Drawing\A110 Main Street Elevations.dwg / User: Marcus Jones / Layout: A110



5 - BUILDING F

3 - BUILDING D



BUILDING A - CLUBHOUSE

1 - BUILDING B

HILL
ARCHITECTS
1750 BLANKENSHIP ROAD
SUITE 400
WEST LINN, OREGON 97068
TEL 503.305.8033 FAX 503.305.8034

THE COVE
GARDEN APARTMENTS
OREGON CITY, OREGON

THIS WIDTH SHOULD BE 3"

21-AUG-2015 DOP RESUBMITTAL

MARK	DATE	REVISION/ISSUE
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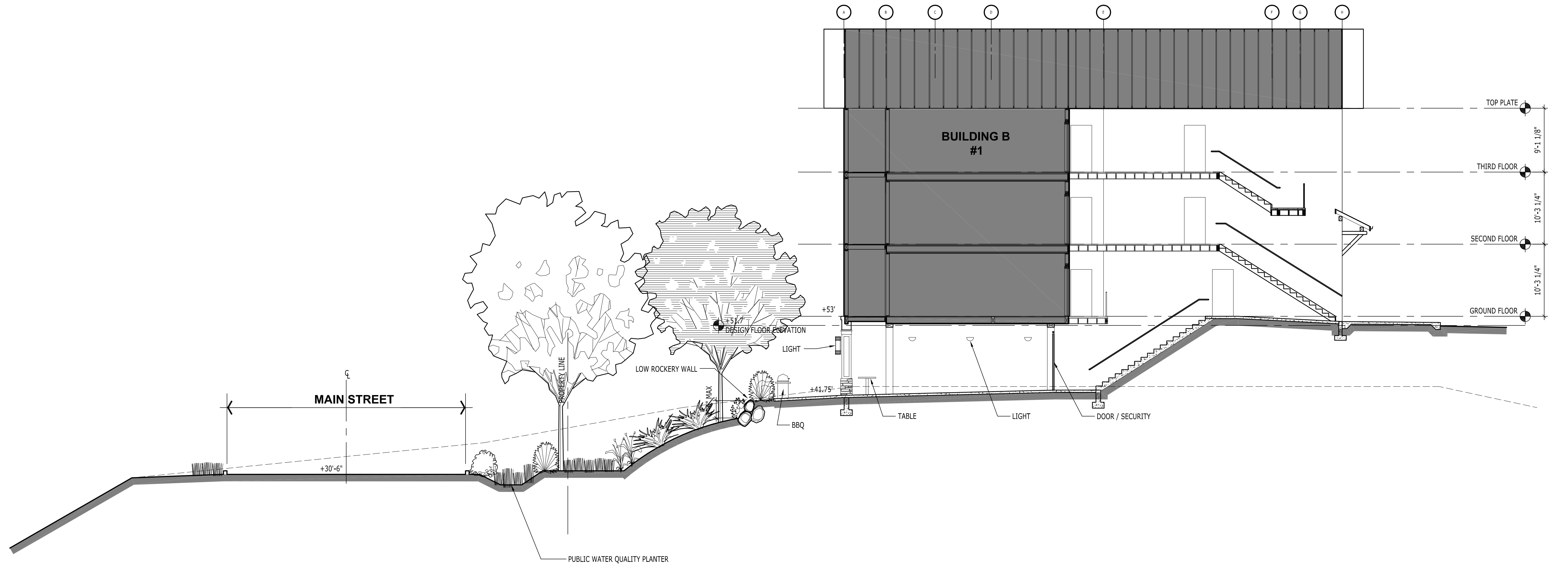
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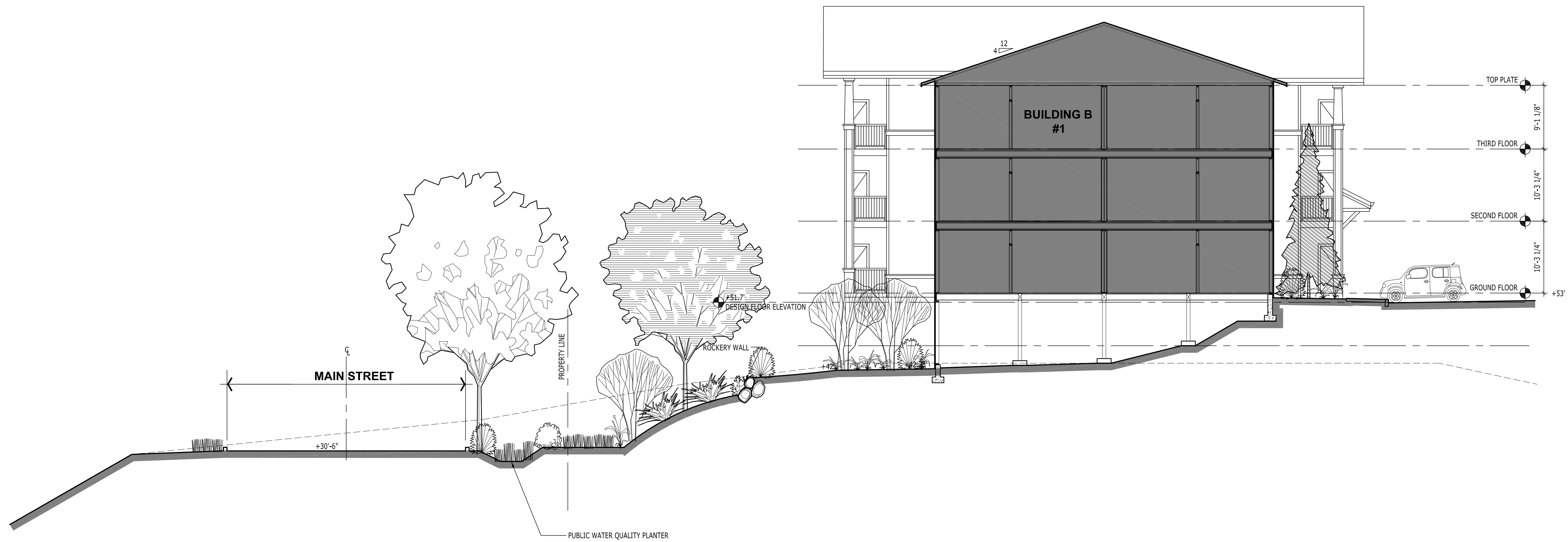
MAIN STREET
BUILDING ELEVATIONS

A110

Date: Thursday, June 25, 2015 3:24:55 PM / Location: F:\2014_06\14688 Cove Garden Apartments - Simpson\8 Drawing\390a Sections.dwg / User: Marcus Jones / Layout: A120

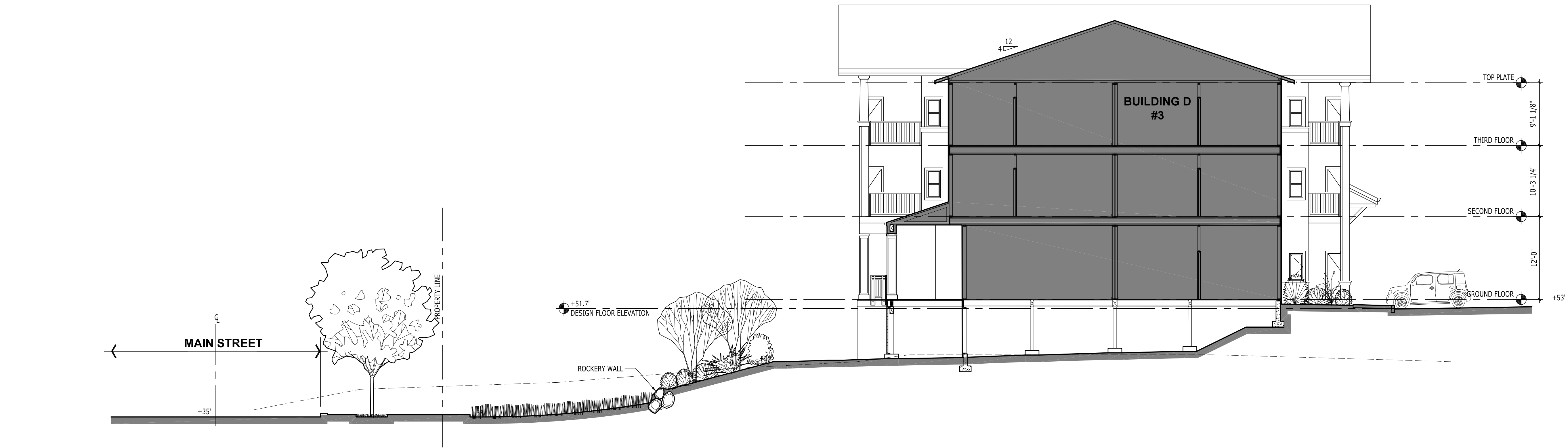


B
A120
BUILDING SECTION - AT BUILDING B (#1)
SCALE: 1/8" = 1'-0"

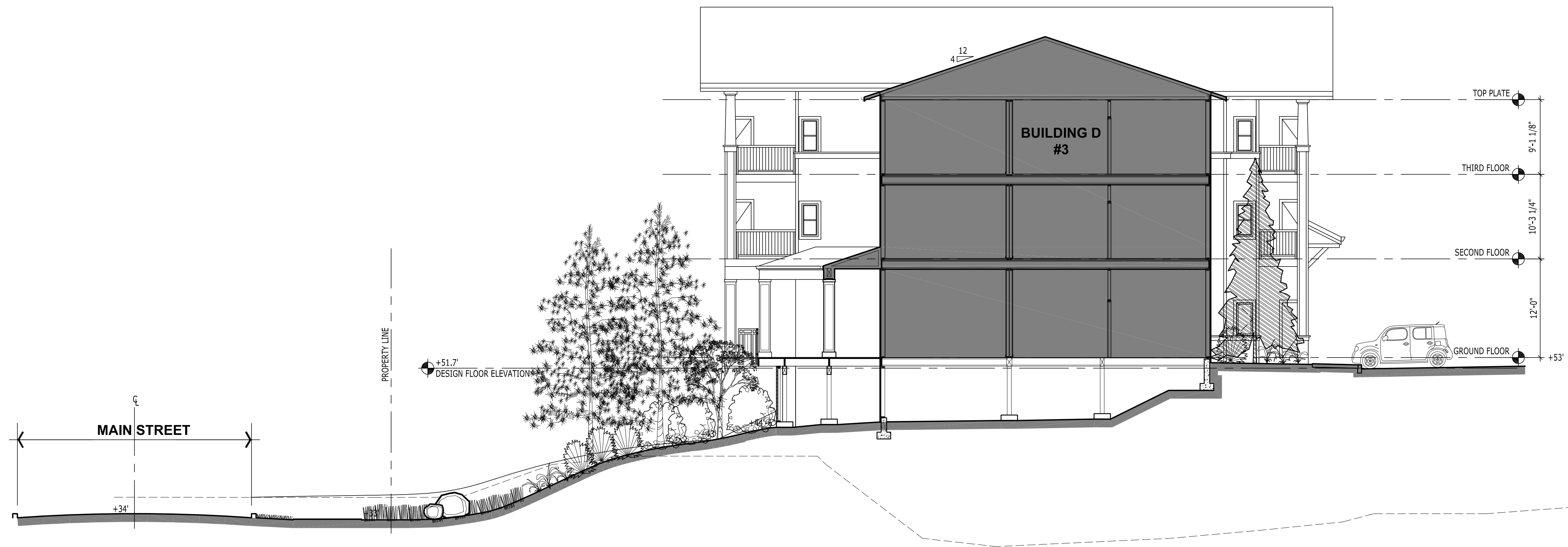


A
A120
BUILDING SECTION - AT BUILDING B (#1)
SCALE: 1/8" = 1'-0"

Date: Wednesday, August 26, 2015 1:13:03 PM / Location: F:\2014_08\14688 Cove Garden Apartments - Simpson\8 Drawing\330% Sections.dwg / User: Marcus Jones / Layout: A122



F BUILDING SECTION - AT BUILDING D (#3)
A122 SCALE: 1/8" = 1'-0"



E BUILDING SECTION - AT BUILDING D (#3)
A122 SCALE: 1/8" = 1'-0"

HILL
ARCHITECTS
1750 BLANKENSHIP ROAD
SUITE 400
WEST LINN, OREGON 97068
TEL 503.305.8033 FAX 503.305.8034

THE COVE
GARDEN APARTMENTS
OREGON CITY, OREGON

THIS WIDTH SHOULD BE 3"

21-AUG-2015 DOP RESUBMITTAL

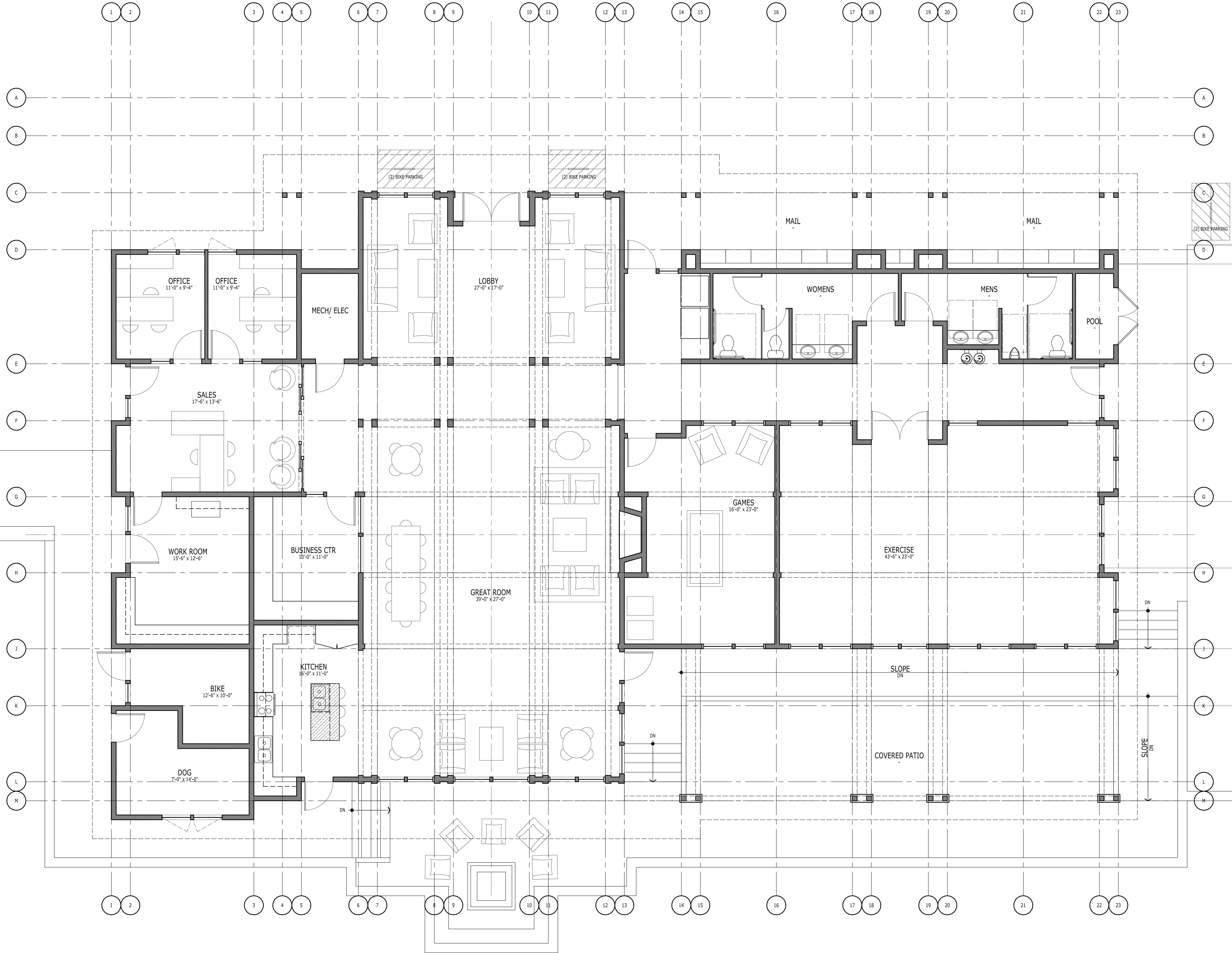
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BUILDING D
SITE SECTIONS

A122

Date: Tuesday, September 01, 2015 8:31:30 AM / Location: P:\2014_D0814688 Cove Garden Apartments - Simpson\8 Drawing\201 Plans\A Clubhouse.dwg / User: Marcia Jones / Layout: A201



1
A201A
SCALE: 1/4" = 1'-0"

GROUND FLOOR PLAN - CLUBHOUSE

HILL
ARCHITECTS
1750 BLANKENSHIP ROAD
SUITE 400
WEST LINN, OREGON 97068
TEL 503.305.8033 FAX 503.305.8034

THE COVE
GARDEN APARTMENTS
OREGON CITY, OREGON

THIS WIDTH SHOULD BE 3"

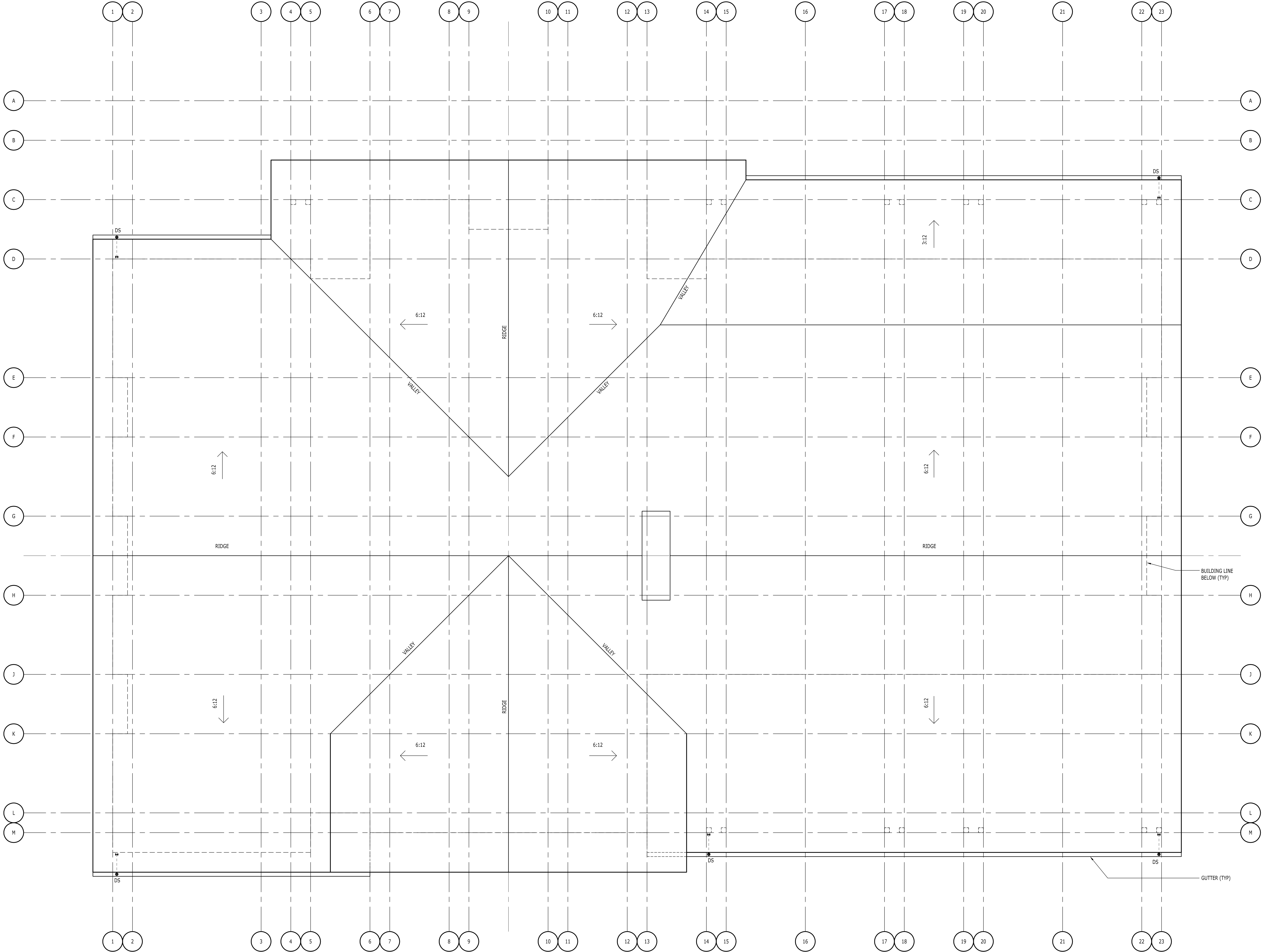
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PROJECT NUMBER	DRAWN BY	CHECKED BY
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← BUILDING A
FLOOR PLAN

A201A

Date: Monday, August 24, 2015 10:40:13 AM / Location: P:\2014\2014_08\14688 Cove Garden Apartments - Simpson8 Drawing\A203A Plans & Clubhouse.dwg / User: Marcus Jones / Layer: A203



1
A203A

ROOF PLAN - CLUBHOUSE

SCALE: 1/4" = 1'-0"

NOTE:
1. ROOF SLOPE TO BE AS NOTED.
2. ROOF DRAINS TO BE ROUTED TO PERIMETER FOUNDATION DRAIN.

HILL
ARCHITECTS
1750 BLANKENSHIP ROAD
SUITE 400
WEST LINN, OREGON 97068
TEL 503.305.8033 FAX 503.305.8034

THE COVE GARDEN APARTMENTS

OREGON CITY, OREGON

THIS WIDTH SHOULD BE 3'

21-AUG-2015 DOP RESUBMITTAL

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← BUILDING A
ROOF PLAN

A203A

Date: Friday, August 21, 2015 5:01:08 AM / Location: P:\2014_12014688 Cove Garden Apartments - Simpson\B Drawing\A301 Elevations A\Clubhouse.dwg / User: Robin Chant / Layout: A301



2
A301
MAIN STREET ELEVATION - BUILDING A
SCALE: 1/4" = 1'-0"



1
A301
PARKING ELEVATION - BUILDING A
SCALE: 1/4" = 1'-0"

21-AUG-2015 DDP RESUBMITTAL		
MARK	DATE	REVISION/ISSUE
PROJECT NUMBER	DRAWN BY	CHECKED BY
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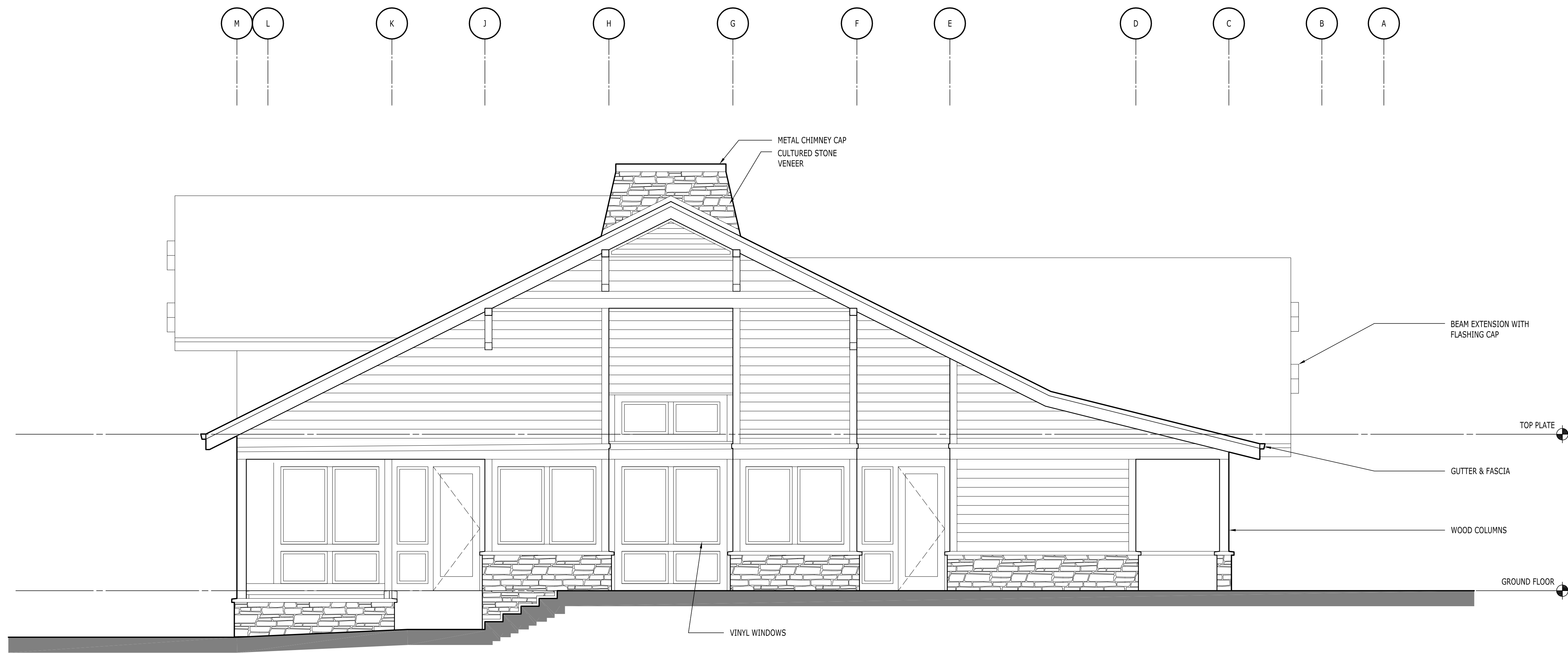
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BUILDING A
EXTERIOR ELEVATIONS

A301A

Date: Friday, August 21, 2015 5:08:55 AM / Location: P:\2014_2015\4688 Cove Garden Apartments - Simpson\B Drawing\301 Elevations A Clubhouse.dwg / User: Robin Chard / Layout: A302



2 LEFT SIDE ELEVATION - BUILDING A
A302 SCALE: 1/4" = 1'-0"



1 RIGHT SIDE ELEVATION - BUILDING A
A302 SCALE: 1/4" = 1'-0"

HILL
ARCHITECTS
1750 BLANKENSHIP ROAD
SUITE 400
WEST LINN, OREGON 97068
TEL 503.305.8033 FAX 503.305.8034

THE COVE
GARDEN APARTMENTS
OREGON CITY, OREGON

THIS WIDTH SHOULD BE 3"

21-AUG-2015 DOP RESUBMITTAL

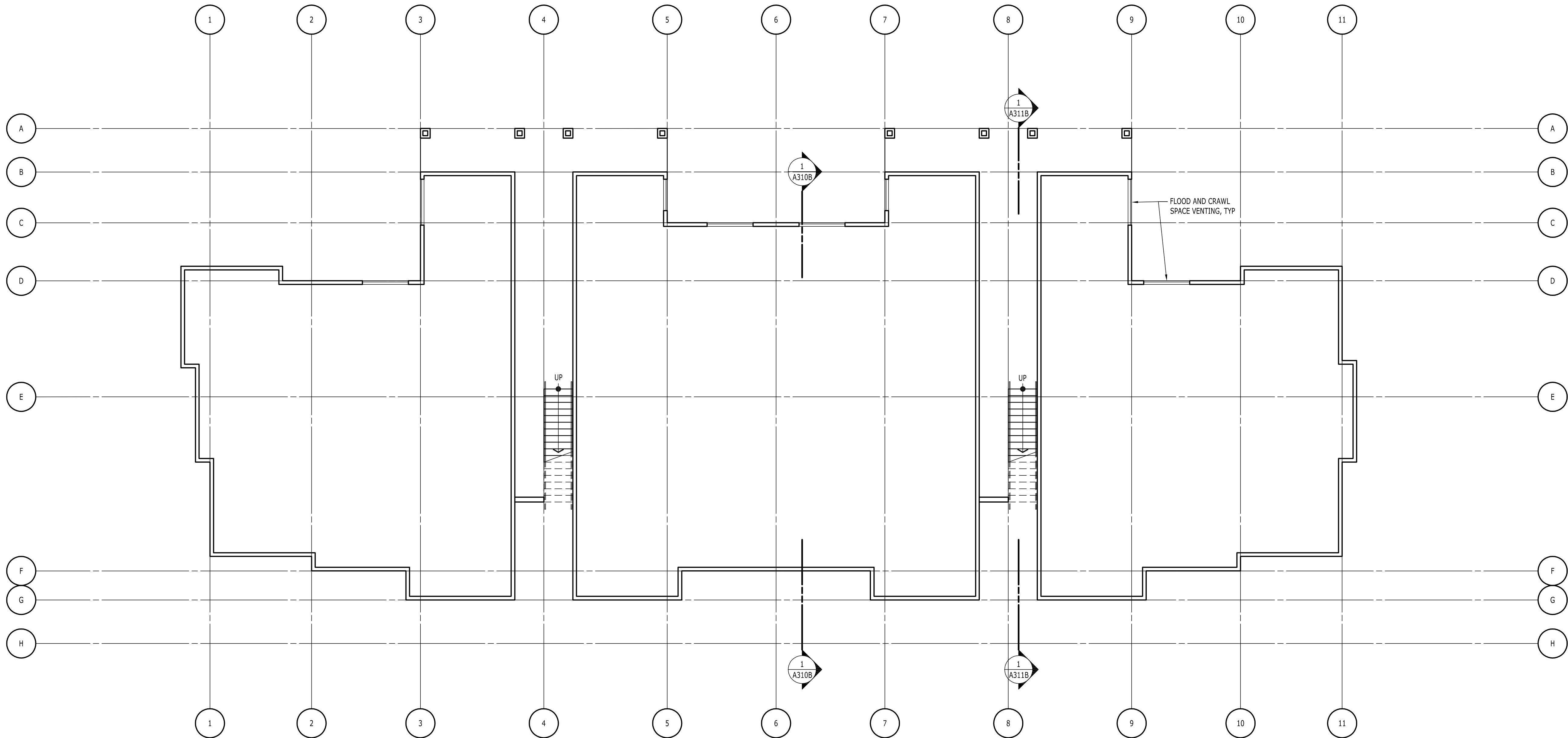
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BUILDING A
EXTERIOR ELEVATIONS

A302A

Date: Thursday, July 02, 2015 12:24:52 PM / Location: F:\2014_2015\2014_06\14688 Cove Garden Apartments - Simpson\8 Drawing\A201 Plans Building / User: Marcus Jones / Layout: A200



1
A200
SCALE: 1/8" = 1'-0"

LOWER LEVEL FLOOR PLAN - BUILDING B

HILL
ARCHITECTS
1750 BLANKENSHIP ROAD
SUITE 400
WEST LINN, OREGON 97068
TEL 503.305.8033 FAX 503.305.8034

THE COVE
GARDEN APARTMENTS
OREGON CITY, OREGON

THIS WIDTH SHOULD BE 3"

26-JUNE-2015 ODP / PRICING SUBMITTAL

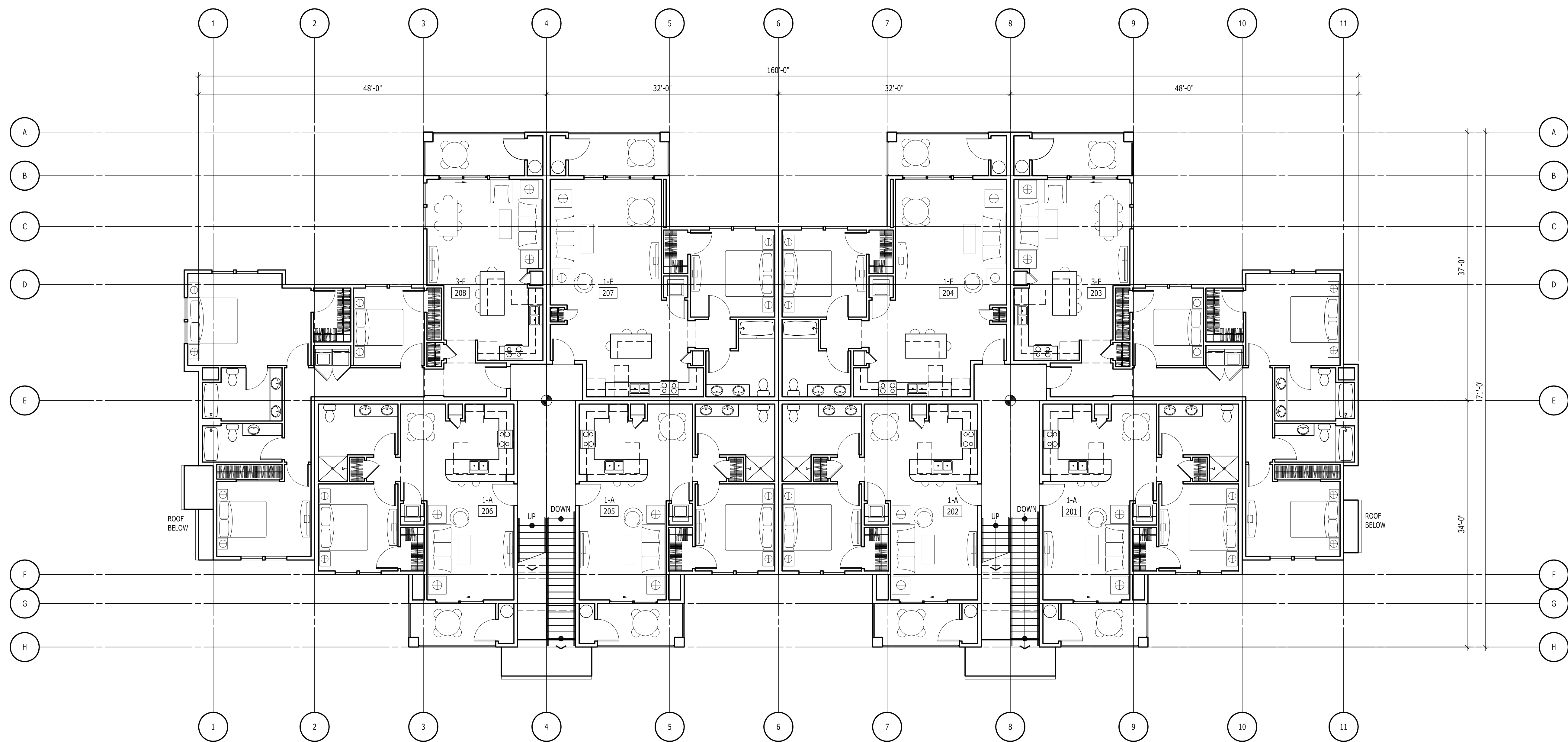
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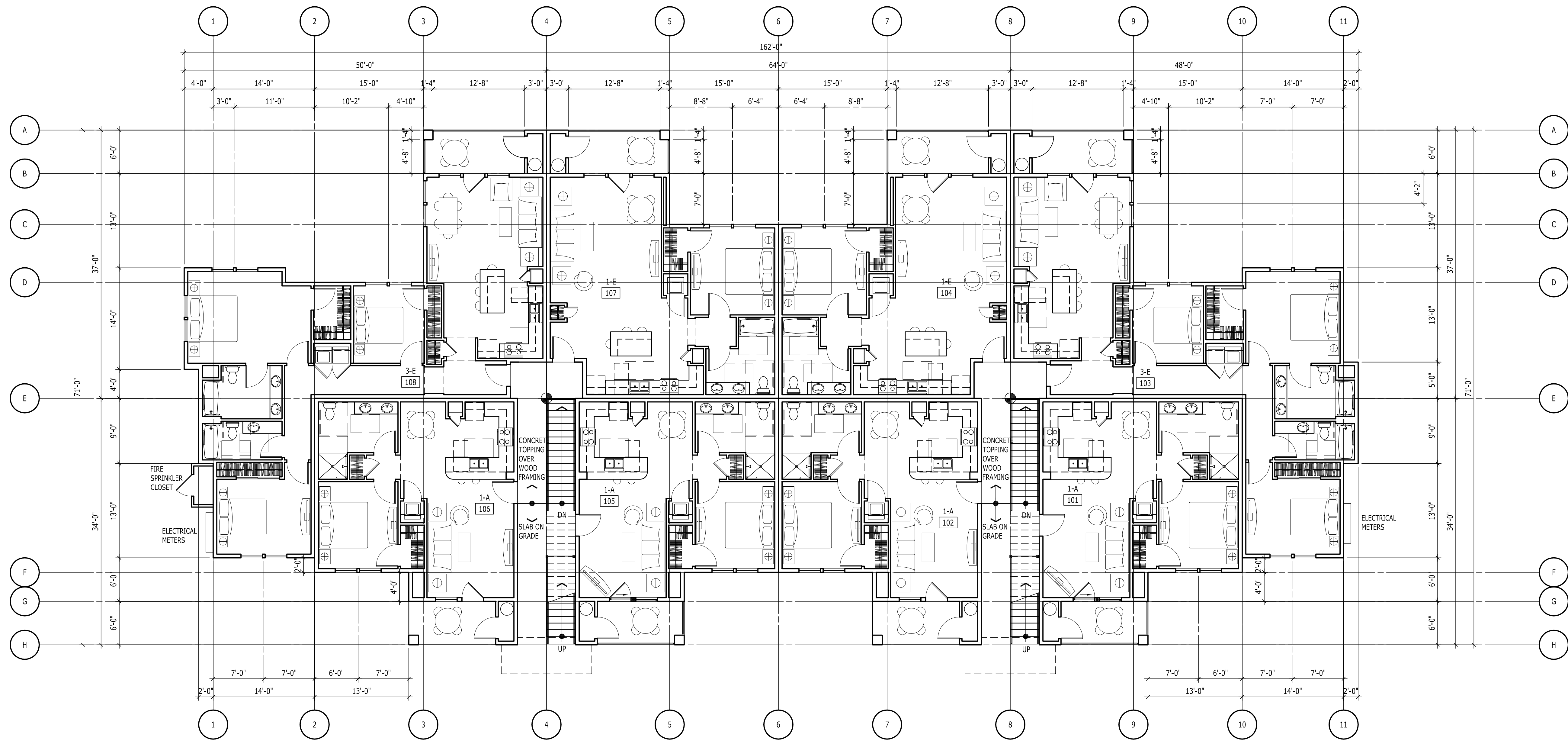
← BUILDING B
LOWER LEVEL FLOOR PLAN

A200B

Date: Thursday, June 25, 2015 3:41:08 PM / Location: F:\2014_10814688 Cove Garden Apartments - Simpson\8 Drawing\A201 Plans B.dwg / User: Marcus Jones / Layout: A201



2 SECOND FLOOR PLAN - BUILDING B
A201 SCALE 1/8" = 1'-0"



1 GROUND FLOOR PLAN - BUILDING B
A201 SCALE 1/8" = 1'-0"

HILL
ARCHITECTS
1750 BLANKENSHIP ROAD
SUITE 400
WEST LINN, OREGON 97068
TEL 503.305.8033 FAX 503.305.8034

THE COVE
GARDEN APARTMENTS
OREGON CITY, OREGON

THIS WIDTH SHOULD BE 3"

20-JUNE-2015 DDP / PRICING SUBMITTAL

MARK DATE REVISION/ISSUE

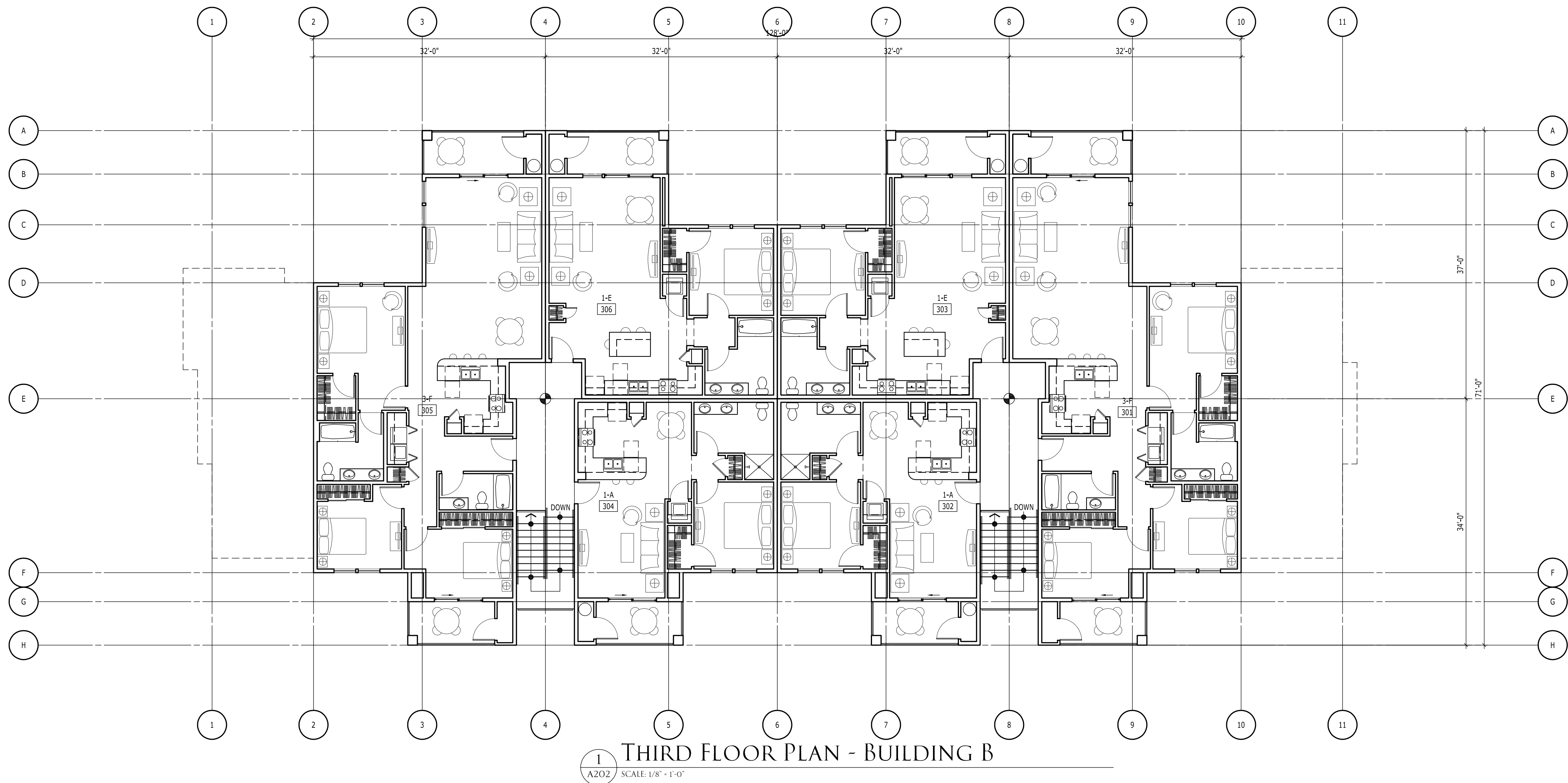
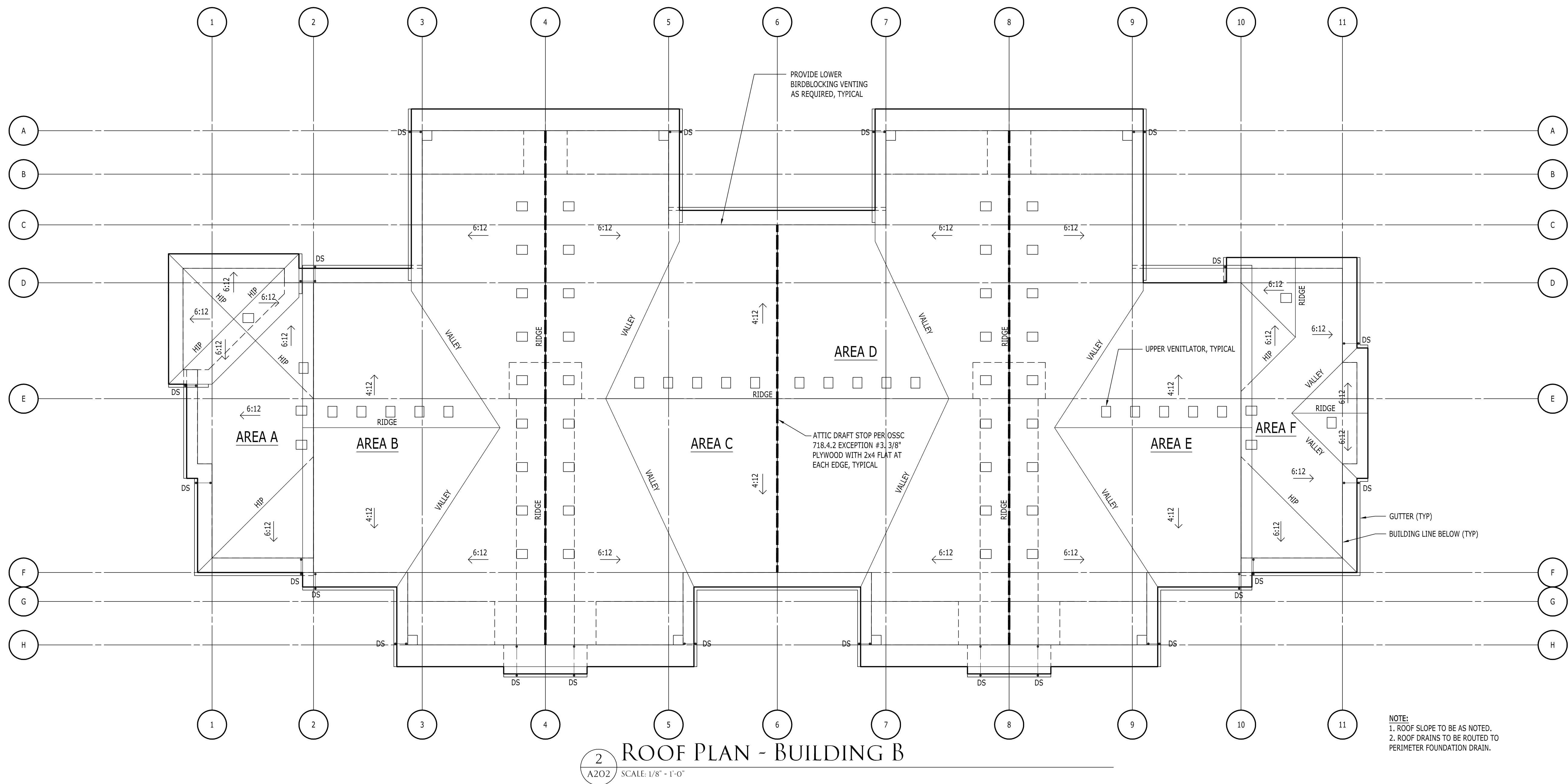
PROJECT NUMBER 14688 DRAWN BY rlc CHECKED BY LWH

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BUILDING B
GROUND FLOOR PLAN &
SECOND FLOOR PLAN

A201B

Date: Thursday, June 25, 2015 3:41:32 PM / Location: C:\2014_06014688 Cove Garden Apartments - Simpson\8 Drawing\A201 Plans Building / User: Marcus Jones / Layer: A202



ATTIC SPACE VENTILATION:

PER OSSC 1203.2 ATTIC SPACES, EXCEPTION 1.1: THE NET FREE CROSS-VENTILATING AREA SHALL PERMITTED TO BE REDUCED TO 1/ 300 PROVIDED THAT NOT LESS THAN 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE...WITH THE BALANCE OF REQUIRED VENTILATION PROVIDED BY EAVE OF CORNICE VENTS.

AREA A - THE ROOF IS 6345F SO 634/ 300 = 2.115F (x144SQ.IN. = 3045SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2"Ø HOLES PROVIDES 5.25 SQ.IN.

HIGH - 66% (200/ 50 = 4 VENTS)
LOW - 34% (104/ 5.25 = 20 BIRDBLOCKS)

AREA B - THE ROOF IS 1,827SF SO 1,827/ 300 = 6.095F (x144SQ.IN. = 877SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2"Ø HOLES PROVIDES 5.25 SQ.IN.

HIGH - 80% (700/ 50 = 14 VENTS)
LOW - 20% (177/ 5.25 = 34 BIRDBLOCKS)

AREA C - THE ROOF IS 1,947SF SO 1,947/ 300 = 6.495F (x144SQ.IN. = 935SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2"Ø HOLES PROVIDES 5.25 SQ.IN.

HIGH - 75% (700/ 50 = 14 VENTS)
LOW - 25% (235/ 5.25 = 45 BIRDBLOCKS)

AREA D - THE ROOF IS 1,947SF SO 1,947/ 300 = 6.495F (x144SQ.IN. = 935SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2"Ø HOLES PROVIDES 5.25 SQ.IN.

HIGH - 75% (700/ 50 = 14 VENTS)
LOW - 25% (235/ 5.25 = 45 BIRDBLOCKS)

AREA E - THE ROOF IS 1,827SF SO 1,827/ 300 = 6.095F (x144SQ.IN. = 877SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2"Ø HOLES PROVIDES 5.25 SQ.IN.

HIGH - 80% (700/ 50 = 14 VENTS)
LOW - 20% (177/ 5.25 = 34 BIRDBLOCKS)

AREA F - THE ROOF IS 588SF SO 588/ 300 = 1.965F (x144SQ.IN. = 283SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2"Ø HOLES PROVIDES 5.25 SQ.IN.

HIGH - 70% (198/ 50 = 4 VENTS)
LOW - 30% (85/ 5.25 = 17 BIRDBLOCKS)



THE COVE
GARDEN APARTMENTS
OREGON CITY, OREGON

THIS WIDTH SHOULD BE 3"

26-JUNE-2015 DDP / PRICING SUBMITTAL		
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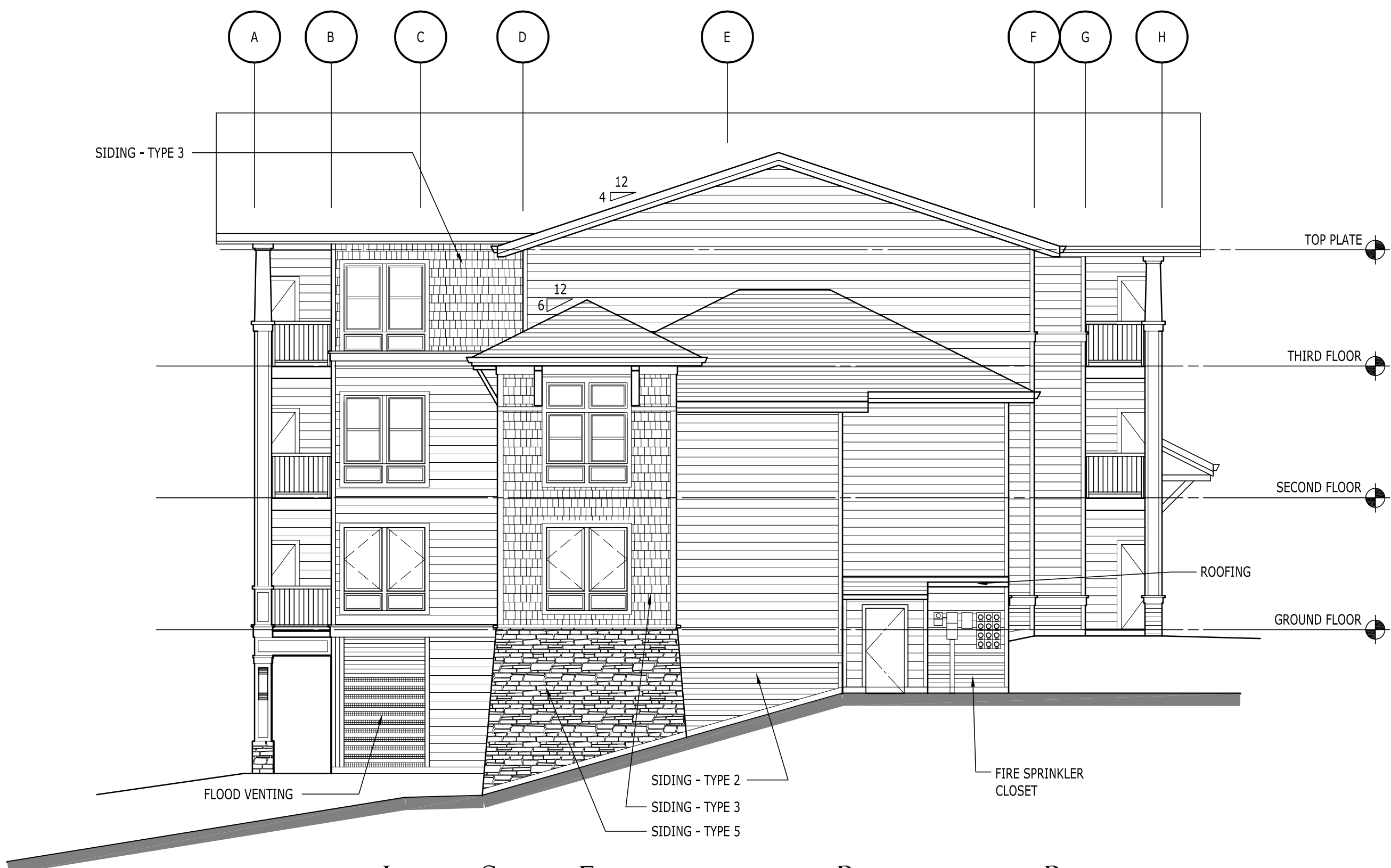
← BUILDING B
THIRD FLOOR PLAN &
ROOF PLAN

A202B

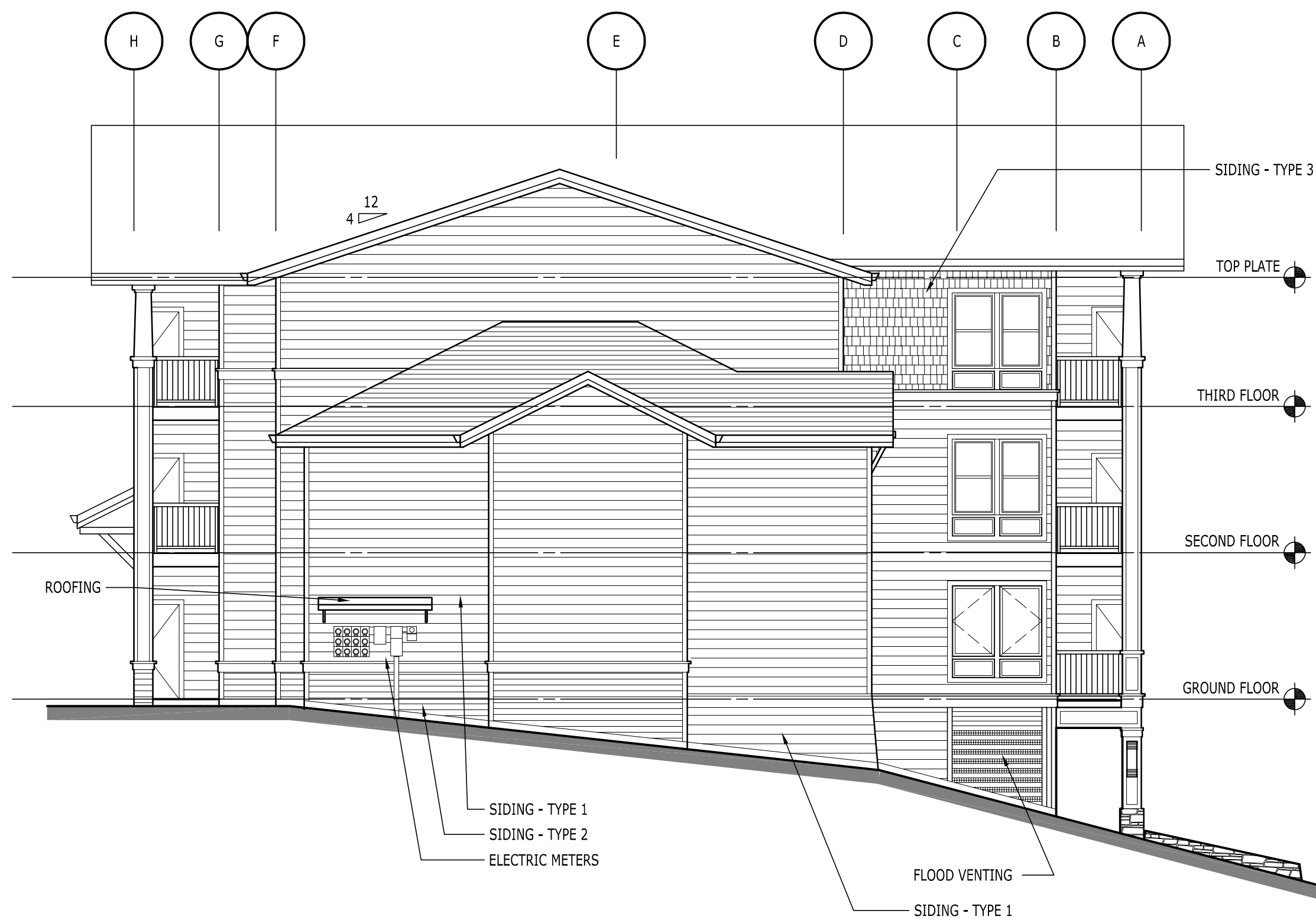
Date: Thursday, June 25, 2015 3:43:23 PM / Location: C:\2014_05014688\Cove Garden Apartments - Simpson\B Drawing\A301 Elevations Building / User: Marcus Jones / Layout: A301



3 MAIN STREET ELEVATION - BUILDING B
SCALE: 1/8" = 1'-0"



4 LEFT SIDE ELEVATION - BUILDING B
SCALE: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION - BUILDING B
SCALE: 1/8" = 1'-0"



1 PARKING ELEVATION - BUILDING B
SCALE: 1/8" = 1'-0"

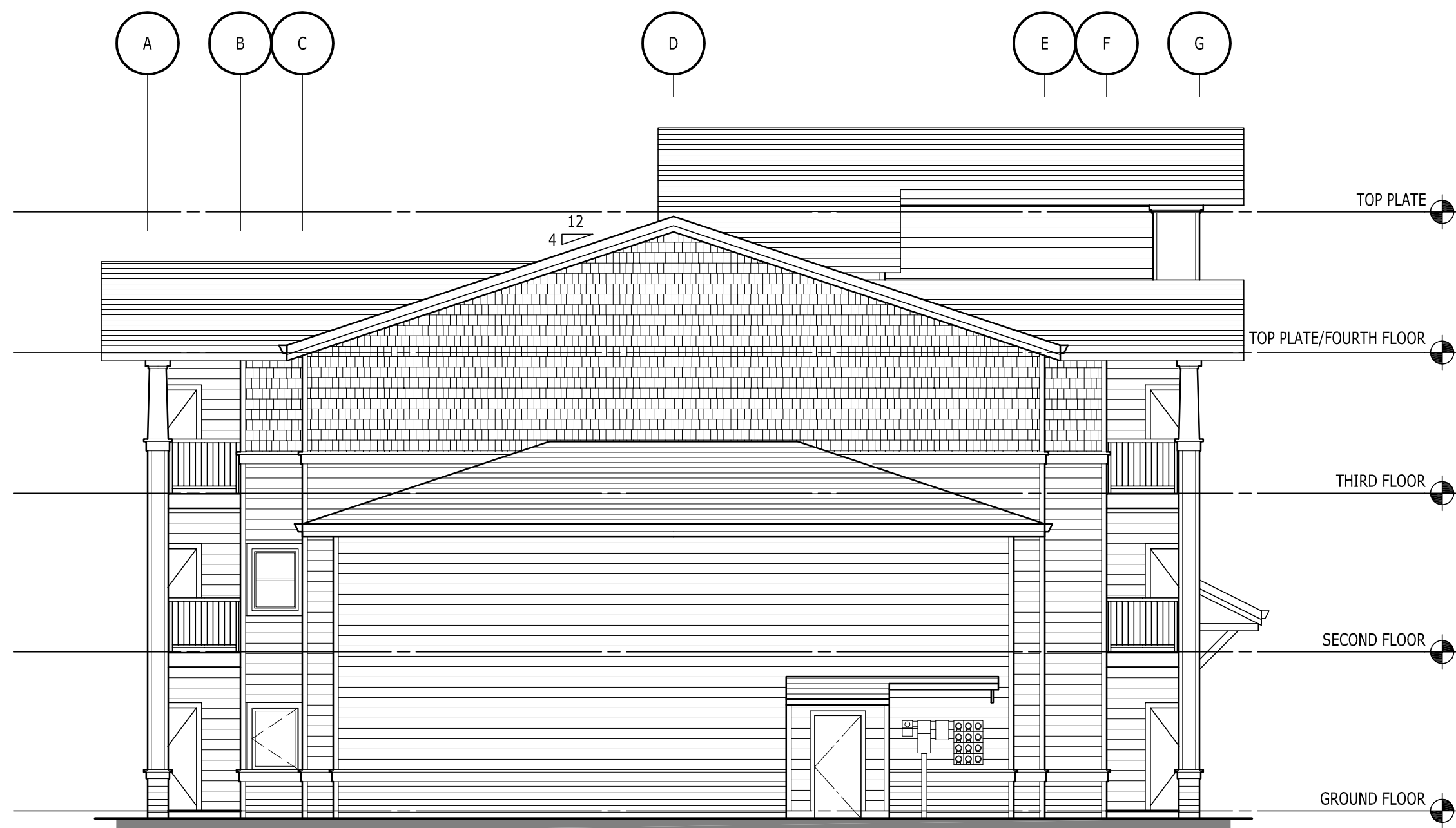


HIGH - 78% (200/ 50 = 4 VENTS)
LOW - 22% (54/ 5.25 = 11 BIRDBLOCKS)

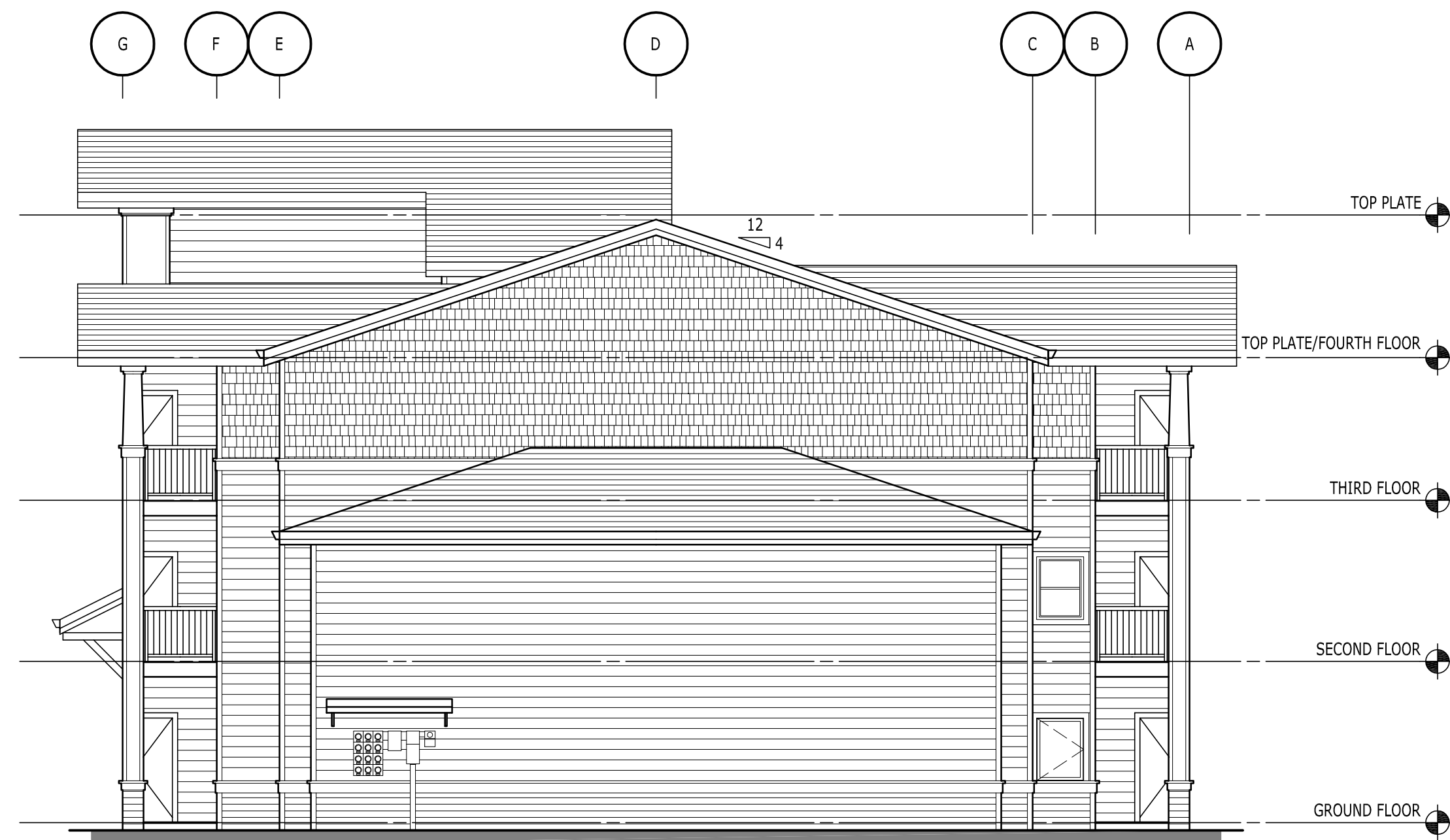
Date: Thursday, June 25, 2015 3:45:52 PM / Location: F:\2014_2014\4688 Cove Garden Apartments - Simpson\3 Drawing\A301 Elevations C.dwg / User: Marcus Jones / Layout: A301C



3 REAR ELEVATION - BUILDING C
A301 SCALE: 1/8" = 1'-0"



4 LEFT SIDE ELEVATION - BUILDING C
A301 SCALE: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION - BUILDING C
A301 SCALE: 1/8" = 1'-0"



1 PARKING ELEVATION - BUILDING C
A301 SCALE: 1/8" = 1'-0"

SEE SHEET A301 BUILDING H FOR TYPICAL
ELEVATION NOTES

THIS WIDTH SHOULD BE 3"

26-JUNE-2015 DDP / PRICING SUBMITTAL

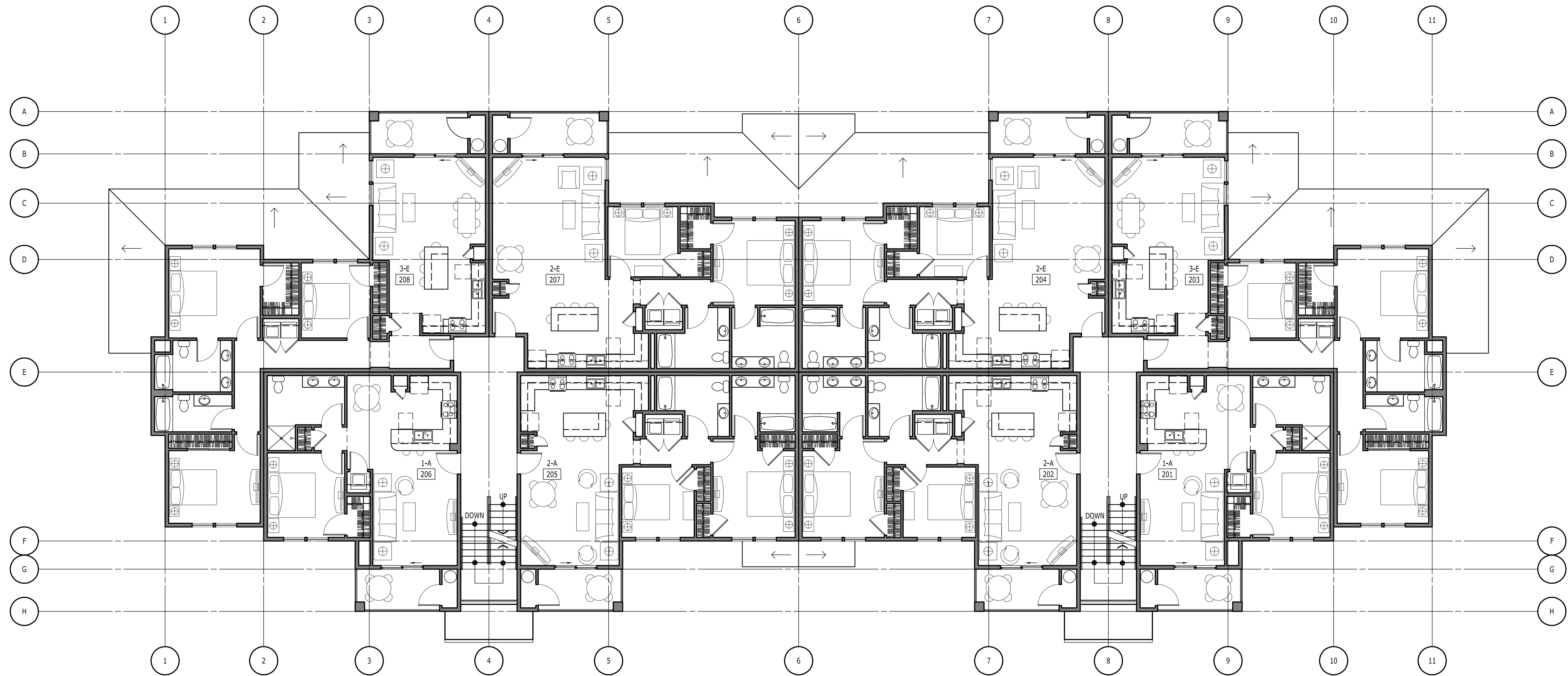
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PROJECT NUMBER	DRAWN BY	CHECKED BY
14688	mj	LWH

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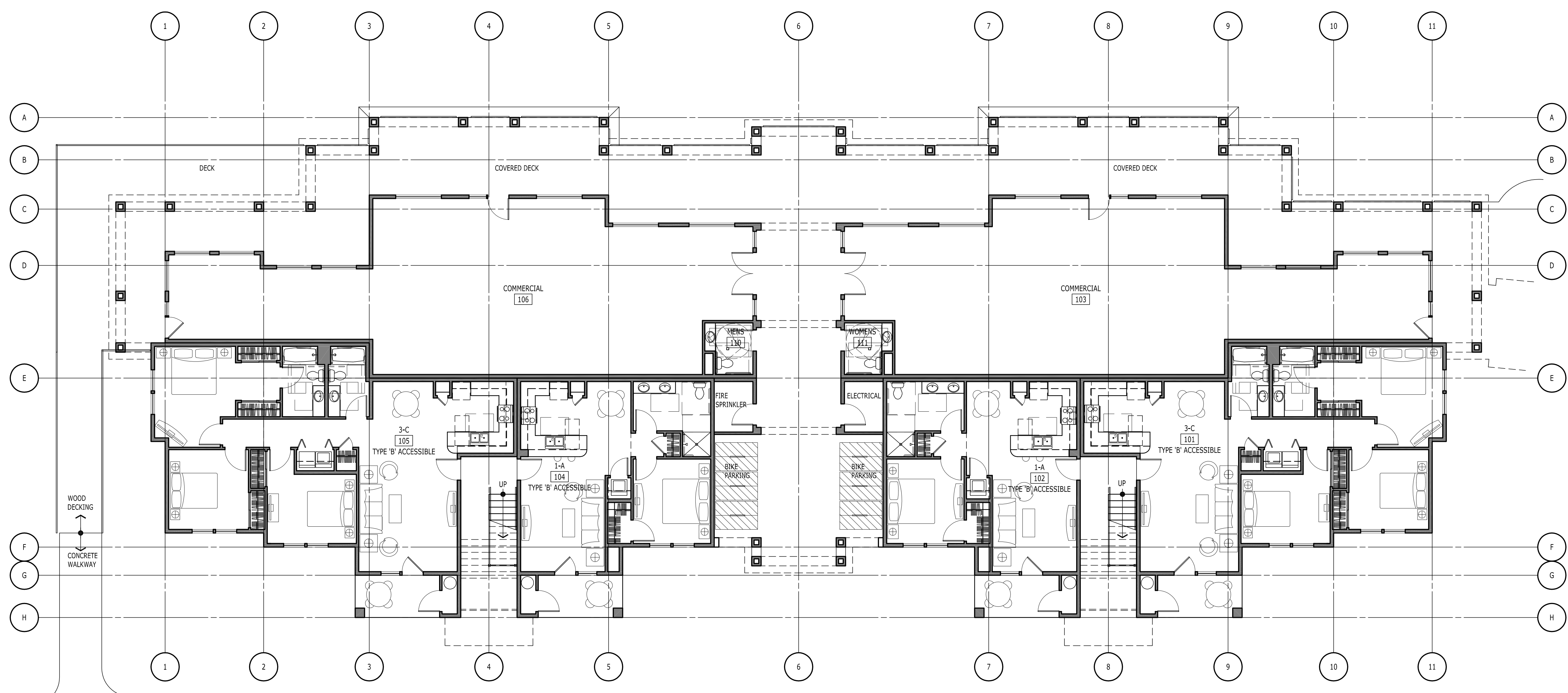
BUILDING C (BLDG J SIM)
EXTERIOR ELEVATIONS

A301C

Date: Friday, August 21, 2015 7:52:12 AM / Location: P:\2014_10514688\Cove Garden Apartments - Simpson\B Drawing\A201 Plan D.F.dwg / User: Robin Chen / Layer: A201D



2 SECOND FLOOR PLAN - BUILDING D
A201 SCALE: 1/8" = 1'-0"



1 GROUND FLOOR PLAN - BUILDING D
A201 SCALE: 1/8" = 1'-0"

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ARCHITECTS
1750 BLANKENSHIP ROAD
SUITE 400
WEST LINN, OREGON 97068
TEL 503.305.8033 FAX 503.305.8034

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GARDEN APARTMENTS
OREGON CITY, OREGON

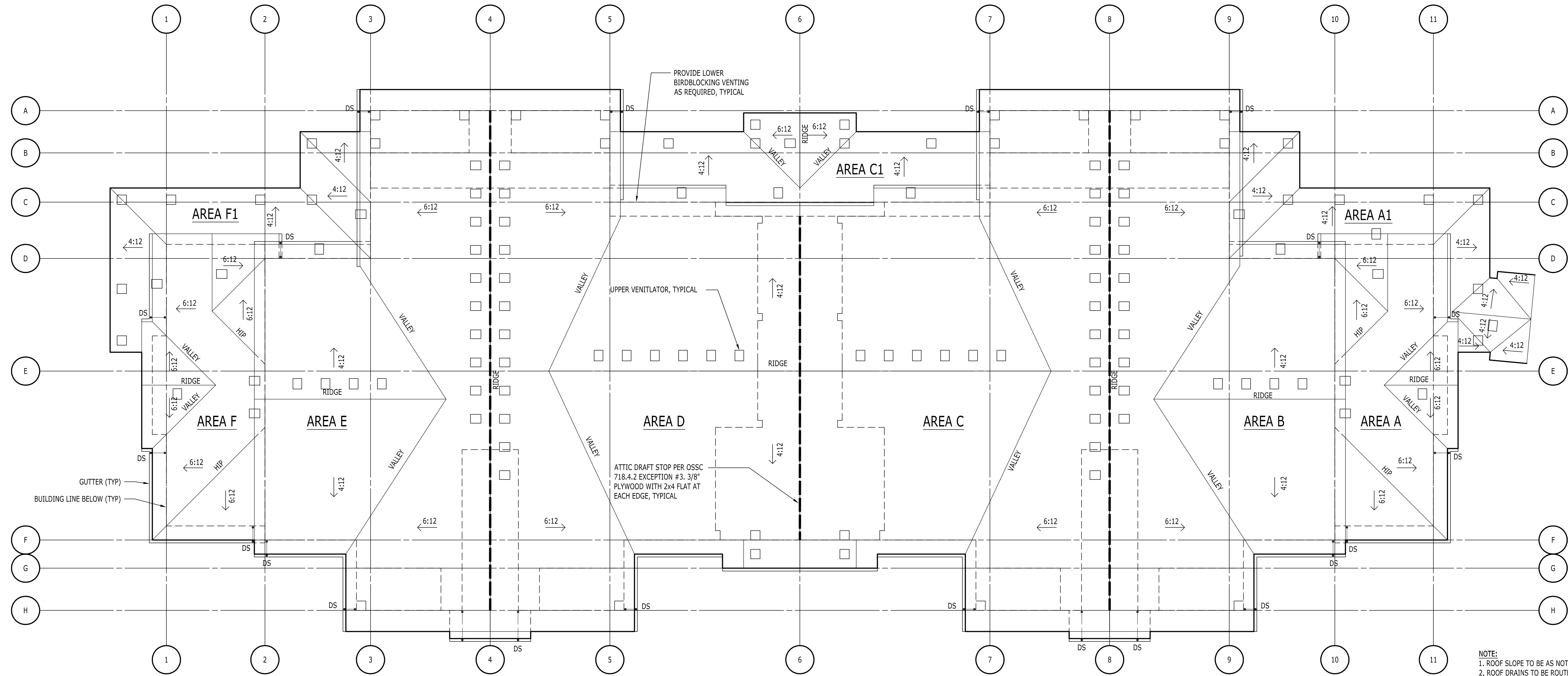
THIS WIDTH SHOULD BE 3"

21-AUG-2015 DOP RESUBMITTAL		
MARK	DATE	REVISION/ISSUE
PROJECT NUMBER	DRAWN BY	CHECKED BY
14688	rtc	LWH

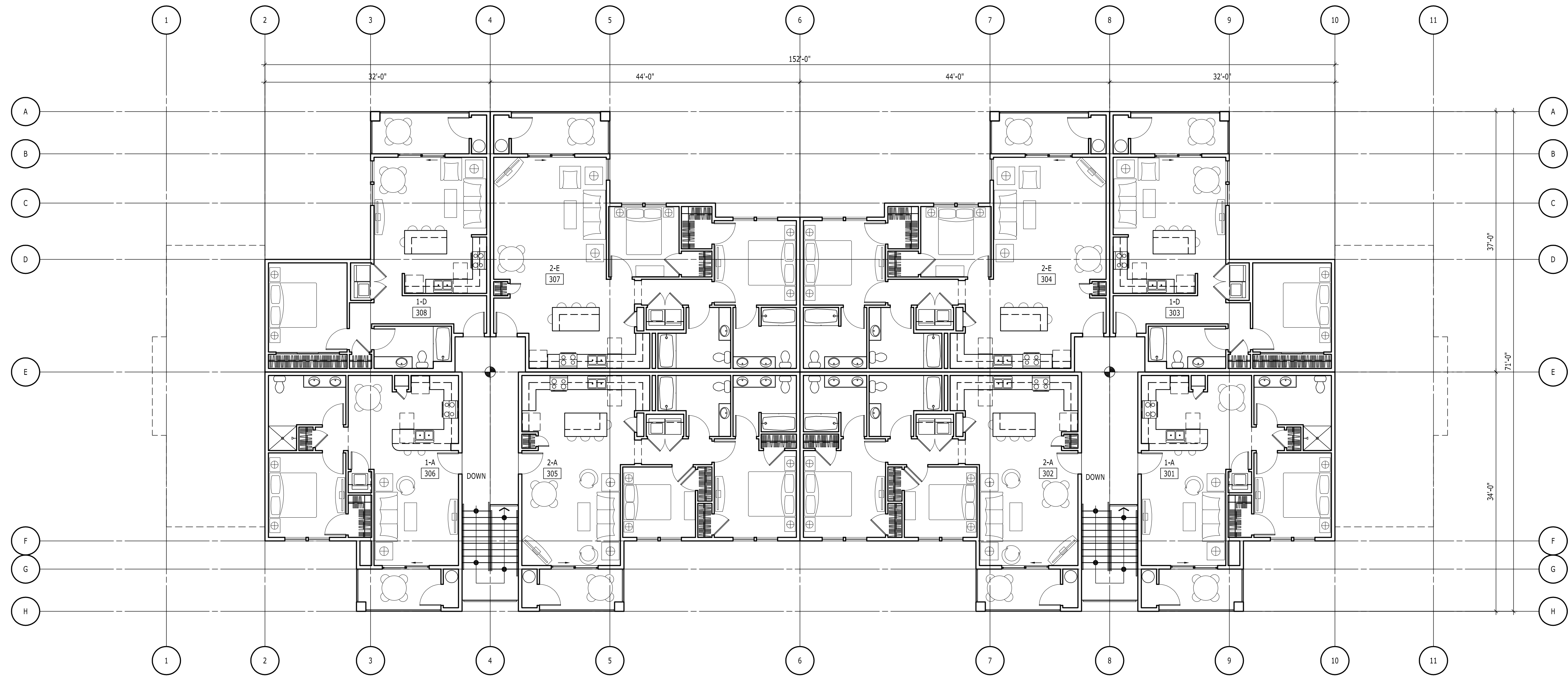
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BUILDING D
GROUND FLOOR PLAN &
SECOND FLOOR PLAN
A201D

Date: Thursday, June 25, 2015 4:51:59 PM / Location: F:\2014_2081\4688 Cove Garden Apartments - Simpson\8 Drawing\A201 Page D_E.dwg / User: Marcus Jones / Layout: A202D



2 ROOF PLAN - BUILDING D
SCALE: 1/8" = 1'-0"



1 THIRD FLOOR PLAN - BUILDING D
SCALE: 1/8" = 1'-0"

ATTIC SPACE VENTILATION:

PER OSSC 1203.2 ATTIC SPACES, EXCEPTION 1.1: THE NET FREE CROSS-VENTILATING AREA SHALL PERMITTED TO BE REDUCED TO 1/ 300 PROVIDED THAT NOT LESS THAN 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE...WITH THE BALANCE OF REQUIRED VENTILATION PROVIDED BY EAVE OF CORNICE VENTS.

AREA A - THE ROOF IS 588SF SO 588/ 300 = 1.965F (x144SQ.IN. = 283SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2"Ø HOLES PROVIDES 5.25 SQ.IN.

HIGH - 71% (200/ 50 = 4 VENTS)
LOW - 29% (83/ 5.25 = 16 BIRDBLOCKS)

AREA A1 - THE ROOF IS 520SF SO 520/ 300 = 1.735F (x144SQ.IN. = 250SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2"Ø HOLES PROVIDES 5.25 SQ.IN.

HIGH - 80% (200/ 50 = 4 VENTS)
LOW - 20% (50/ 5.25 = 10 BIRDBLOCKS)

AREA B - THE ROOF IS 1,827SF SO 1,827/ 300 = 6.095F (x144SQ.IN. = 877SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2"Ø HOLES PROVIDES 5.25 SQ.IN.

HIGH - 80% (700/ 50 = 14 VENTS)
LOW - 20% (177/ 5.25 = 34 BIRDBLOCKS)

AREA C - THE ROOF IS 2,499SF SO 2,499/ 300 = 8.335F (x144SQ.IN. = 1200SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2"Ø HOLES PROVIDES 5.25 SQ.IN.

HIGH - 75% (900/ 50 = 18 VENTS)
LOW - 25% (300/ 5.25 = 58 BIRDBLOCKS)

AREA C1 - THE ROOF IS 572SF SO 572/ 300 = 1.915F (x144SQ.IN. = 275SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2"Ø HOLES PROVIDES 5.25 SQ.IN.

HIGH - 73% (200/ 50 = 4 VENTS)
LOW - 27% (75/ 5.25 = 15 BIRDBLOCKS)

AREA D - THE ROOF IS 2,499SF SO 2,499/ 300 = 8.335F (x144SQ.IN. = 1200SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2"Ø HOLES PROVIDES 5.25 SQ.IN.

HIGH - 75% (900/ 50 = 18 VENTS)
LOW - 25% (300/ 5.25 = 58 BIRDBLOCKS)

AREA E - THE ROOF IS 1,827SF SO 1,827/ 300 = 6.095F (x144SQ.IN. = 877SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2"Ø HOLES PROVIDES 5.25 SQ.IN.

HIGH - 80% (700/ 50 = 14 VENTS)
LOW - 20% (177/ 5.25 = 34 BIRDBLOCKS)

AREA F - THE ROOF IS 588SF SO 588/ 300 = 1.965F (x144SQ.IN. = 283SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2"Ø HOLES PROVIDES 5.25 SQ.IN.

HIGH - 71% (200/ 50 = 4 VENTS)
LOW - 29% (83/ 5.25 = 16 BIRDBLOCKS)

AREA F1 - THE ROOF IS 452SF SO 452/ 300 = 1.515F (x144SQ.IN. = 218SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2"Ø HOLES PROVIDES 5.25 SQ.IN.

HIGH - 69% (150/ 50 = 3 VENTS)
LOW - 31% (68/ 5.25 = 13 BIRDBLOCKS)

NOTE:
1. ROOF SLOPE TO BE AS NOTED.
2. ROOF DRAINS TO BE ROUTED TO PERIMETER FOUNDATION DRAIN.



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OREGON CITY, OREGON

THIS WIDTH SHOULD BE 3"

26-JUNE-2015 DDP / PRICING SUBMITTAL

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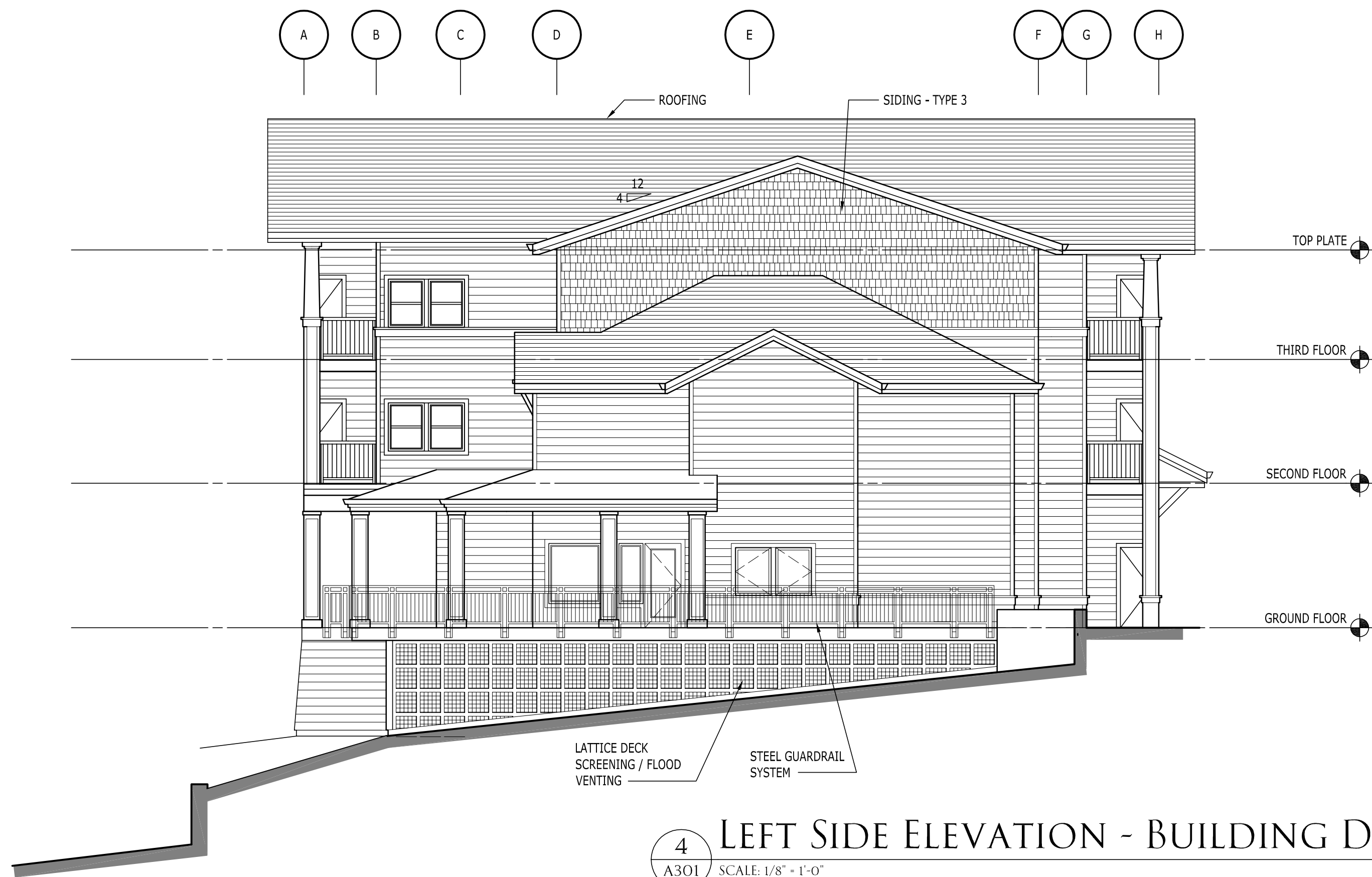
← BUILDING D
THIRD FLOOR PLAN &
ROOF PLAN

A202D

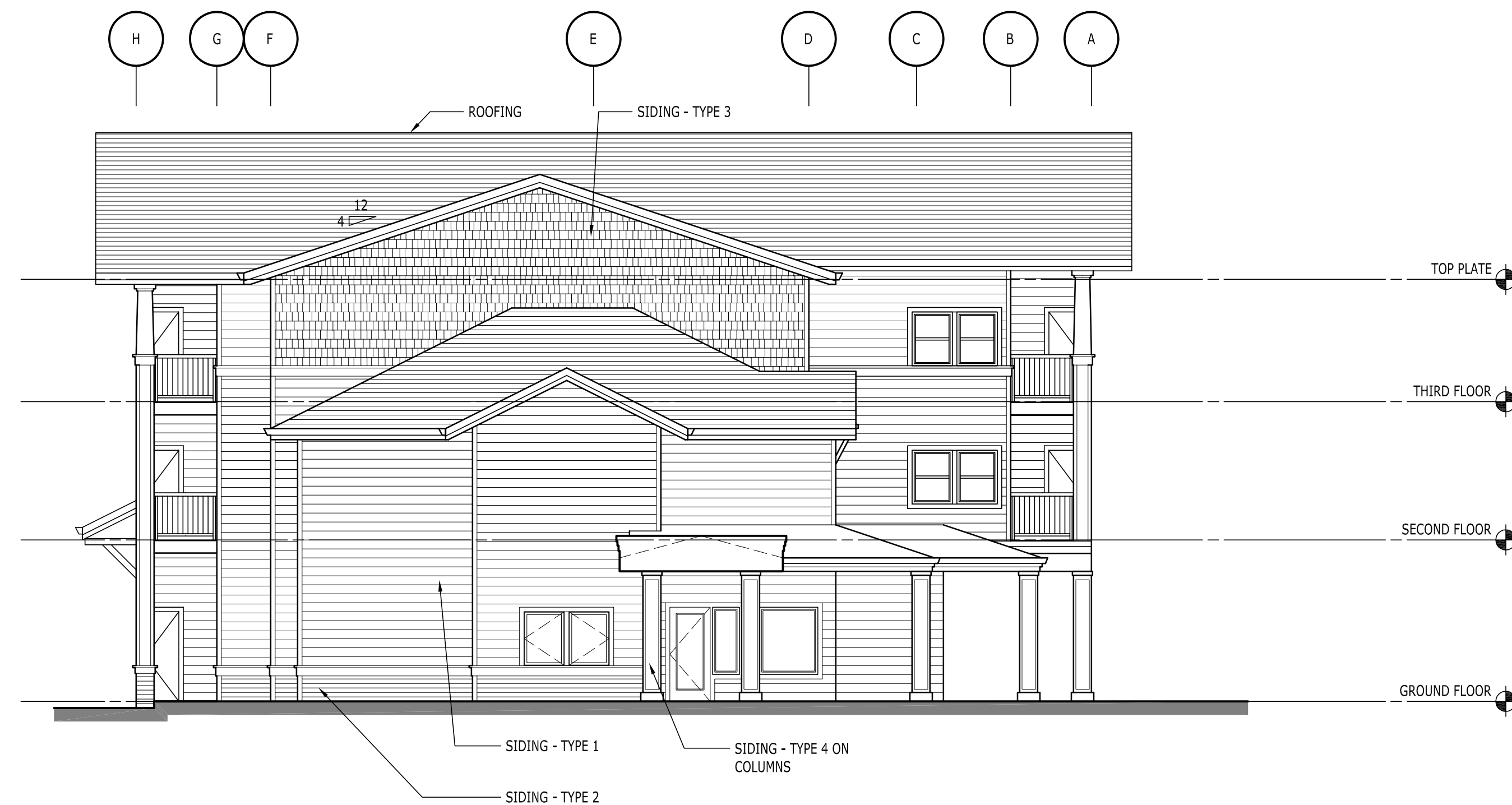
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3 MAIN STREET ELEVATION - BUILDING D
A301 SCALE: 1/8" = 1'-0"



4 LEFT SIDE ELEVATION - BUILDING D
A301 SCALE: 1/8" = 1'-0"

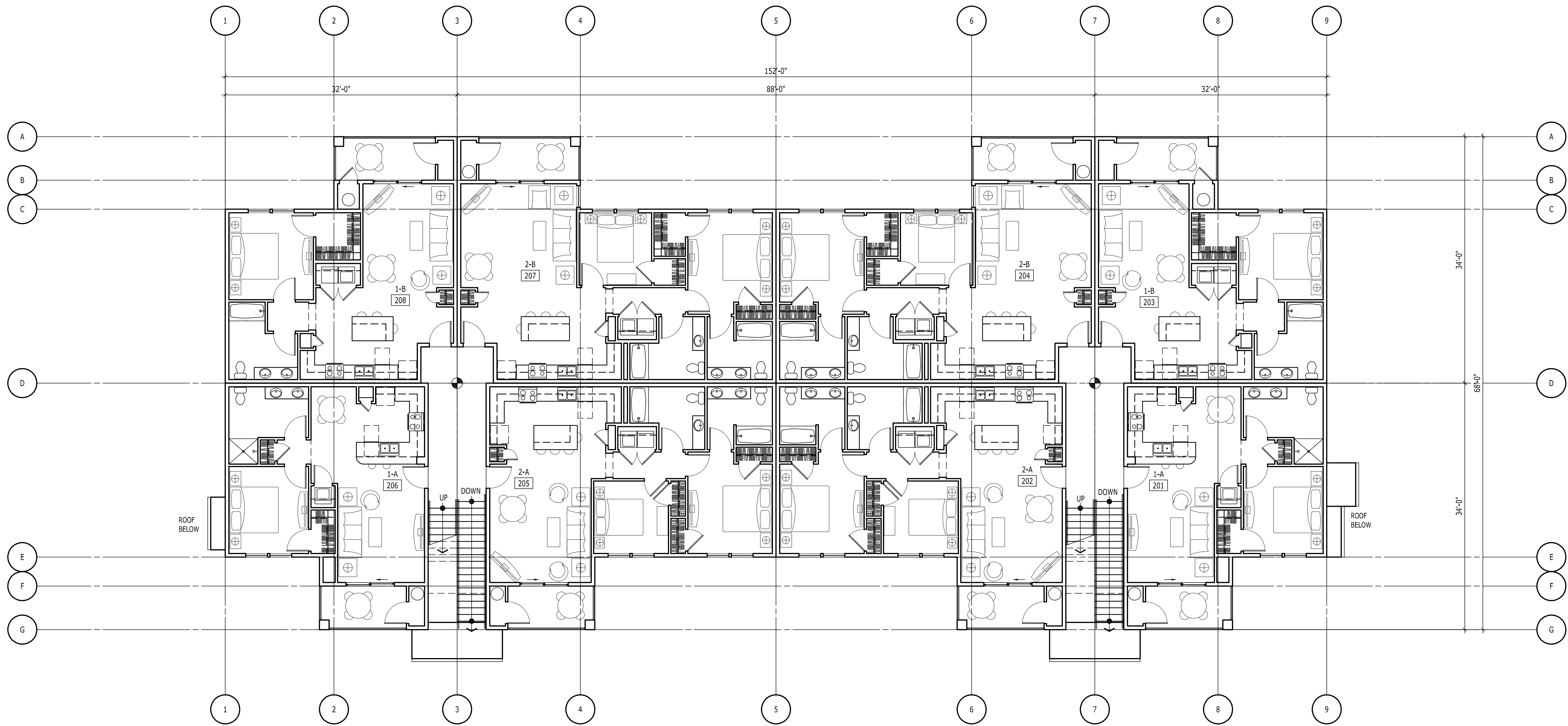


2 RIGHT SIDE ELEVATION - BUILDING D
A301 SCALE: 1/8" = 1'-0"

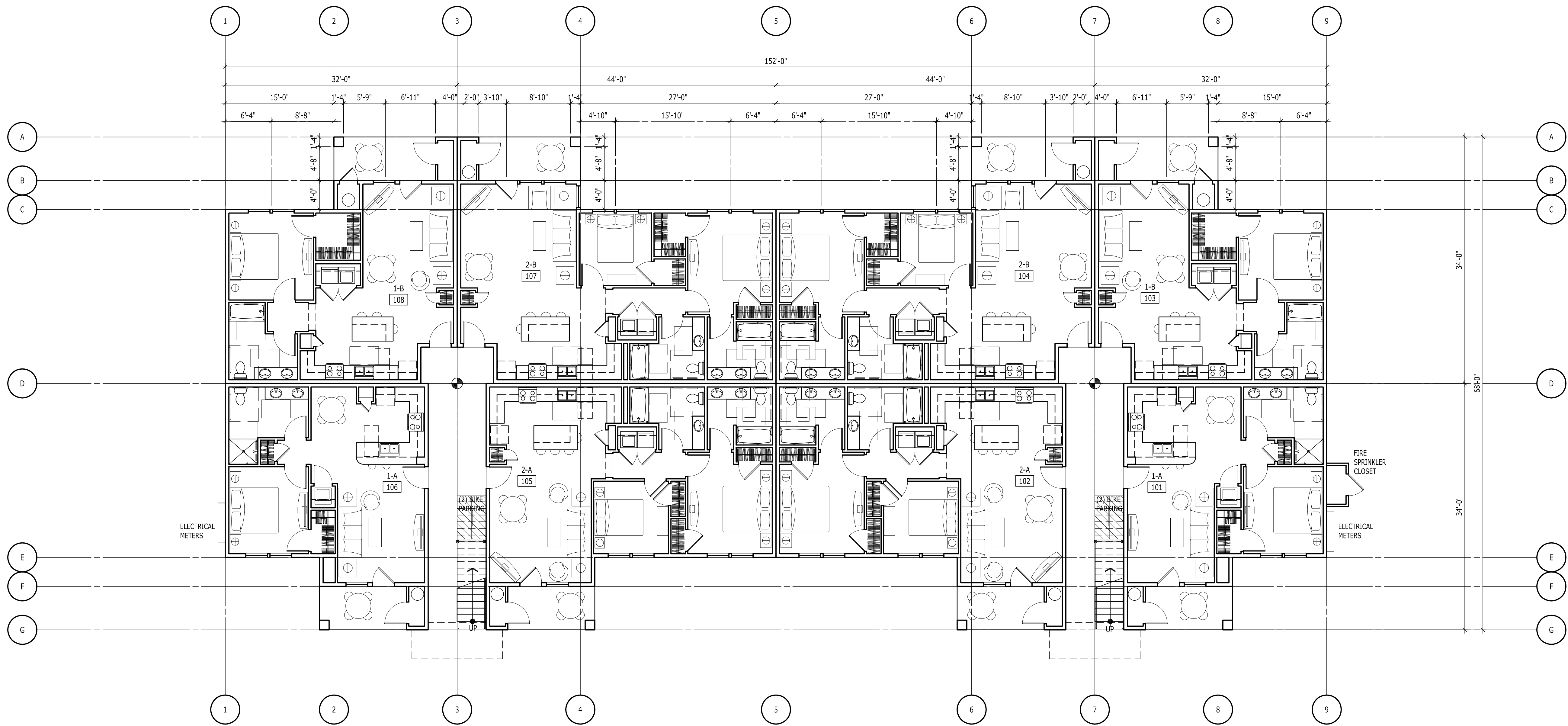


1 PARKING ELEVATION - BUILDING D
A301 SCALE: 1/8" = 1'-0"

Date: Thursday, June 25, 2015 3:52:41 PM / Location: C:\2014_2014688 Cave Garden Apartments - Simpson\8 Drawing\A201.Plot E_C.L.dwg / User: Marcus Jones / Layout: A201E



2 SECOND FLOOR PLAN - BUILDING E
A201 SCALE: 1/8" = 1'-0"



1 GROUND FLOOR PLAN - BUILDING E
A201 SCALE: 1/8" = 1'-0"

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SUITE 400
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THE COVE
GARDEN APARTMENTS
OREGON CITY, OREGON

THIS WIDTH SHOULD BE 3"

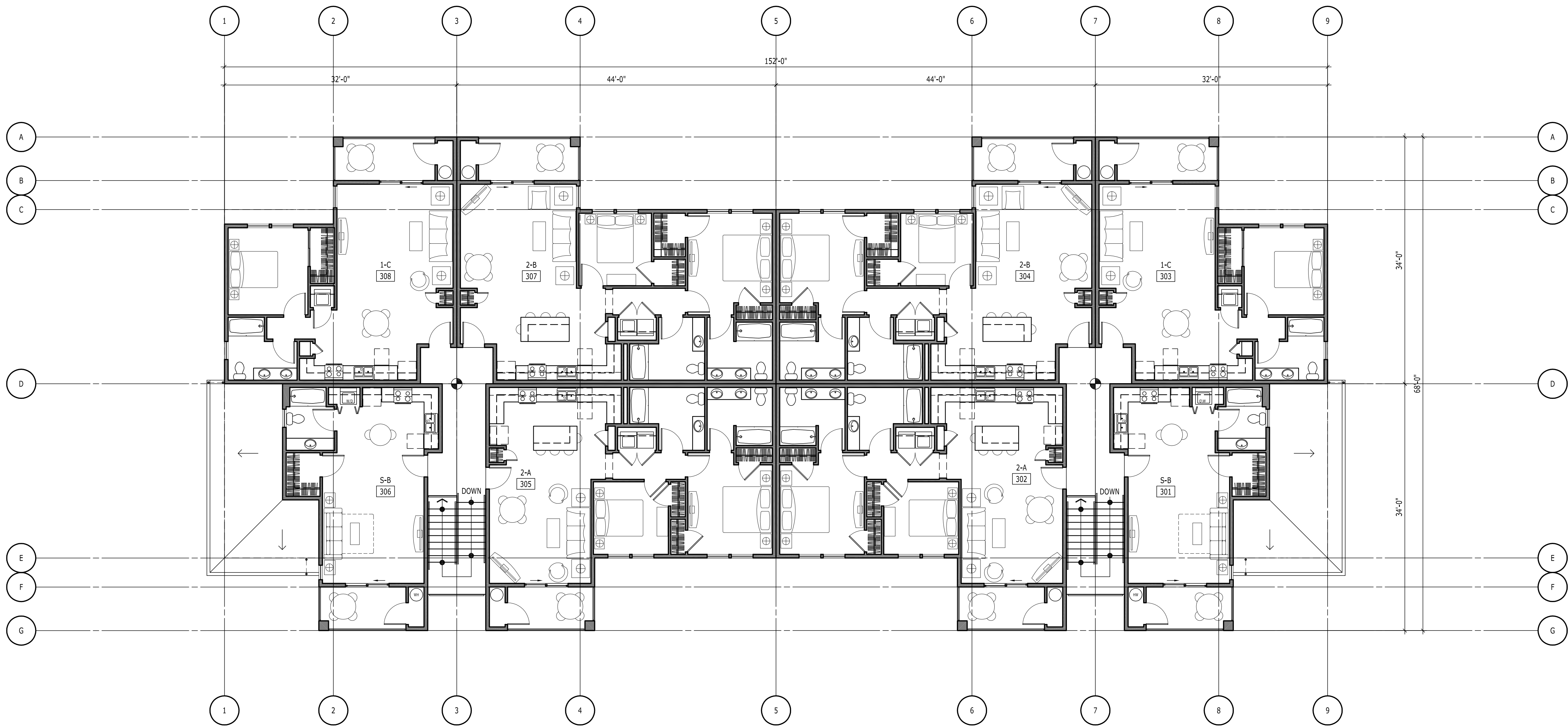
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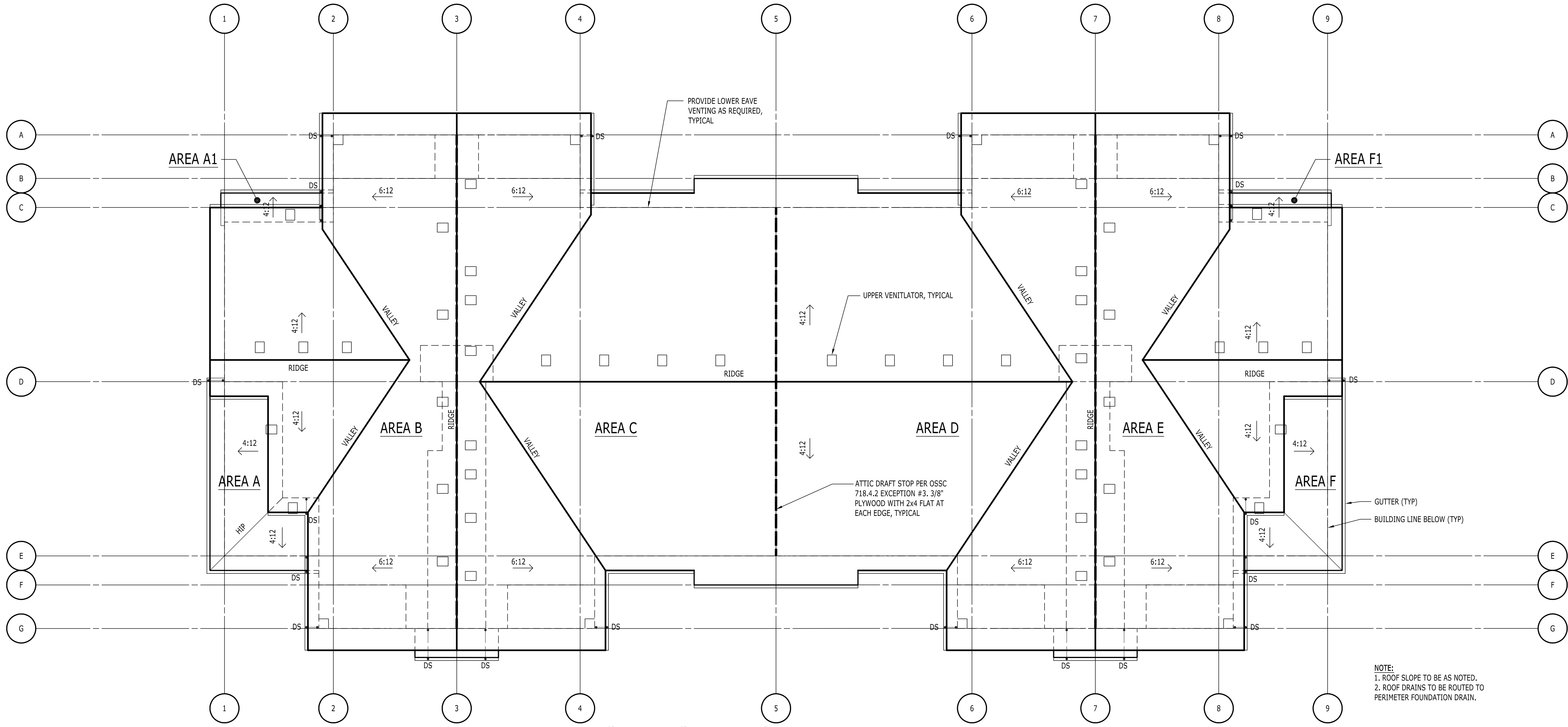
← BUILDING E (BLDGs G & L SIM)
GROUND FLOOR PLAN &
SECOND FLOOR PLAN

A201E

Date: Thursday, September 03, 2015 11:51:03 AM / Location: P:\2014_1081\4688 Cove Garden Apartments - Simpson\B Drawing\A202 Plans E_C_L.dwg / User: Marcus Jones / Layout: A202E



1
A202
THIRD FLOOR PLAN - BUILDING E
SCALE: 1/8" = 1'-0"



2
A202
ROOF PLAN - BUILDING E
SCALE: 1/8" = 1'-0"

ATTIC SPACE VENTILATION:

PER OSSC 1203.2 ATTIC SPACES, EXCEPTION 1.: THE NET FREE CROSS-VENTILATING AREA SHALL PERMITTED TO BE REDUCED TO 1/ 300 PROVIDED THAT NOT LESS THAN 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE...WITH THE BALANCE OF REQUIRED VENTILATION PROVIDED BY EAVE OF CORNICE VENTS.

AREA A - THE ROOF IS 2325F SQ 232/ 300 = 0.775F (x144SQ.IN. = 111SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 16" x 4" EAVE VENT PROVIDES 26 SQ.IN. OF NET FREE AREA.

HIGH - 50% (56/ 50 = 2 VENTS)
LOW - 50% (56/ 26 = 3 EAVE VENTS)

AREA A1 - THE ROOF IS 305F SQ 30/ 300 = 0.105F (x144SQ.IN. = 15SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 16" x 4" EAVE VENT PROVIDES 26 SQ.IN. OF NET FREE AREA.

HIGH - (1 VENT)
LOW - (1 EAVE VENT)

AREA B - THE ROOF IS 1,634SF SQ 1,634/ 300 = 5.455F (x144SQ.IN. = 785SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 16" x 4" EAVE VENT PROVIDES 26 SQ.IN. OF NET FREE AREA.

HIGH - 50% (393/ 50 = 8 VENTS)
LOW - 50% (393/ 26 = 16 EAVE VENTS)

AREA C - THE ROOF IS 2,472SF SQ 2,472/ 300 = 8.24SF (x144SQ.IN. = 1187SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 16" x 4" EAVE VENT PROVIDES 26 SQ.IN. OF NET FREE AREA.

HIGH - 50% (594/ 50 = 12 VENTS)
LOW - 50% (594/ 26 = 23 EAVE VENTS)

AREA D - THE ROOF IS 2,472SF SQ 2,472/ 300 = 8.24SF (x144SQ.IN. = 1187SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 16" x 4" EAVE VENT PROVIDES 26 SQ.IN. OF NET FREE AREA.

HIGH - 50% (594/ 50 = 12 VENTS)
LOW - 50% (594/ 26 = 23 BIRD/BLOCKS)

AREA E - THE ROOF IS 1,634SF SQ 1,634/ 300 = 5.455F (x144SQ.IN. = 785SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 16" x 4" EAVE VENT PROVIDES 26 SQ.IN. OF NET FREE AREA.

HIGH - 50% (393/ 50 = 8 VENTS)
LOW - 50% (393/ 26 = 16 EAVE VENTS)

AREA F - THE ROOF IS 2325F SQ 232/ 300 = 0.775F (x144SQ.IN. = 111SQ.IN.) OF VENTILATION IS REQUIRED.
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(1) 16" x 4" EAVE VENT PROVIDES 26 SQ.IN. OF NET FREE AREA.

HIGH - 50% (56/ 50 = 2 VENTS)
LOW - 50% (56/ 26 = 3 EAVE VENTS)

AREA F1 - THE ROOF IS 305F SQ 30/ 300 = 0.105F (x144SQ.IN. = 15SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 16" x 4" EAVE VENT PROVIDES 26 SQ.IN. OF NET FREE AREA.

HIGH - (1 VENT)
LOW - (1 EAVE VENT)

THIS WIDTH SHOULD BE 3"

21-AUG-2015 DOP RESUBMITTAL

MARK DATE REVISION/ISSUE

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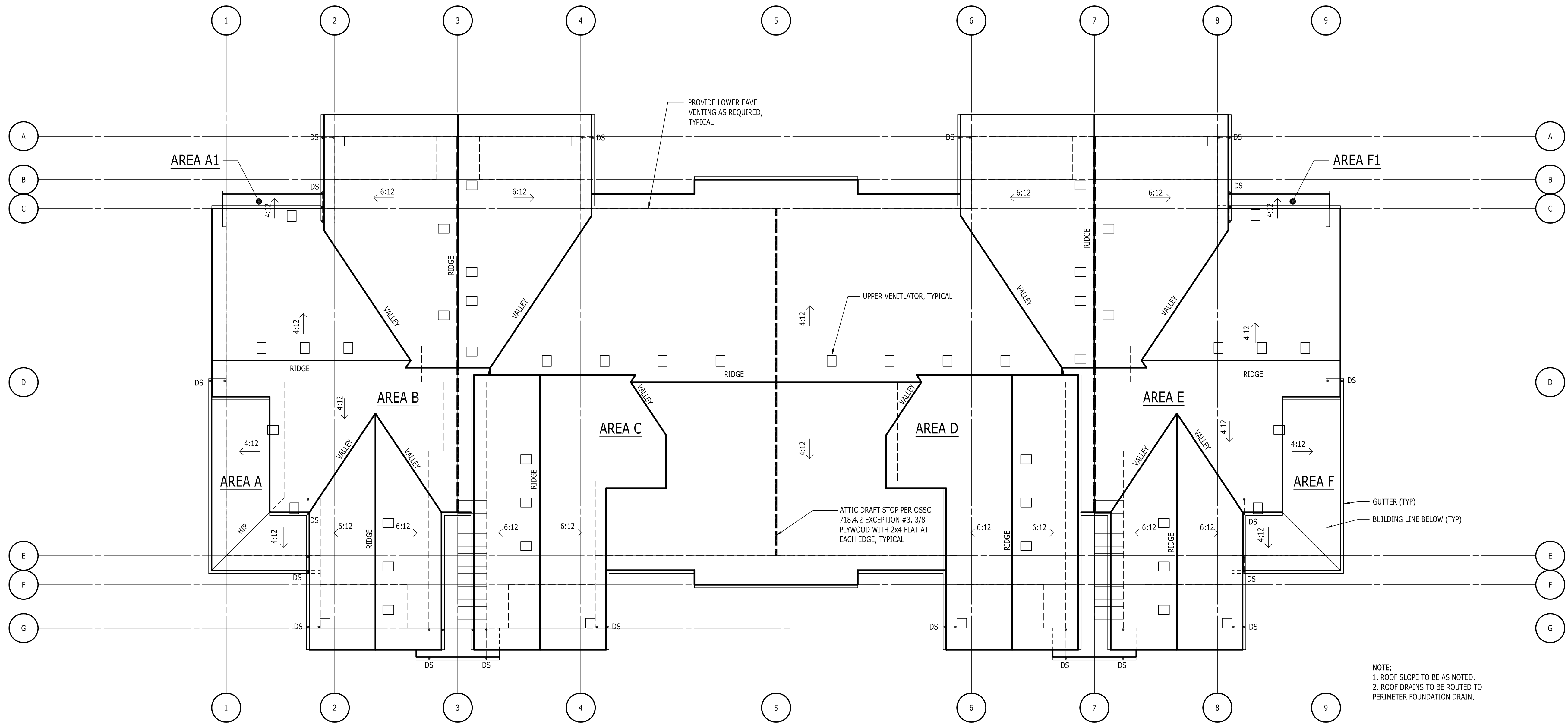
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BUILDING E (BLDG'S G SIM)

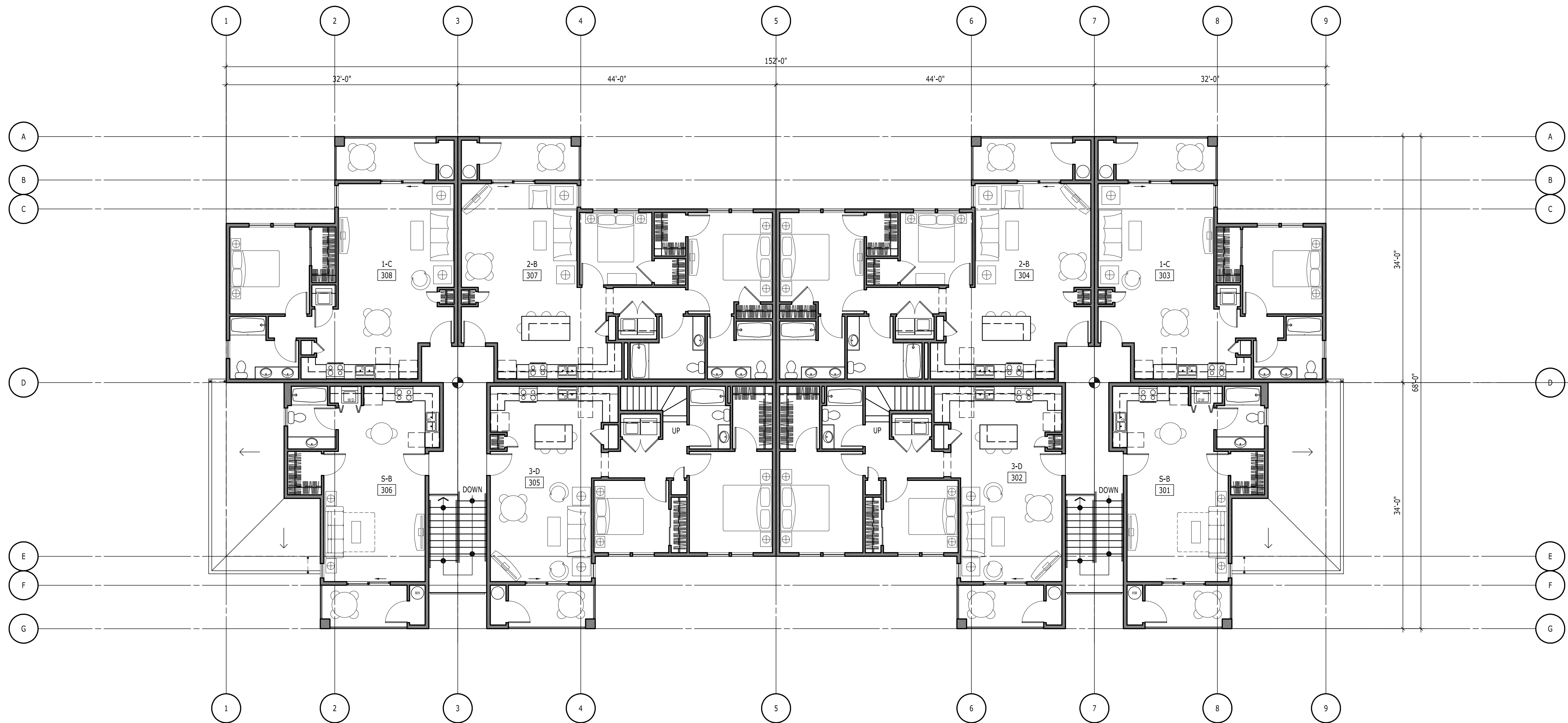
THIRD FLOOR PLAN &
ROOF PLAN

A202E

Date: Thursday, September 03, 2015 12:47:22 PM / Location: P:\2014_1081\4688 Cove Garden Apartments - Simpson\B Drawing\A201 Plans E_G_L.dwg / User: Marcus Jones / Layout: A202L



2 ROOF PLAN - BUILDING L
A202 SCALE: 1/8" = 1'-0"



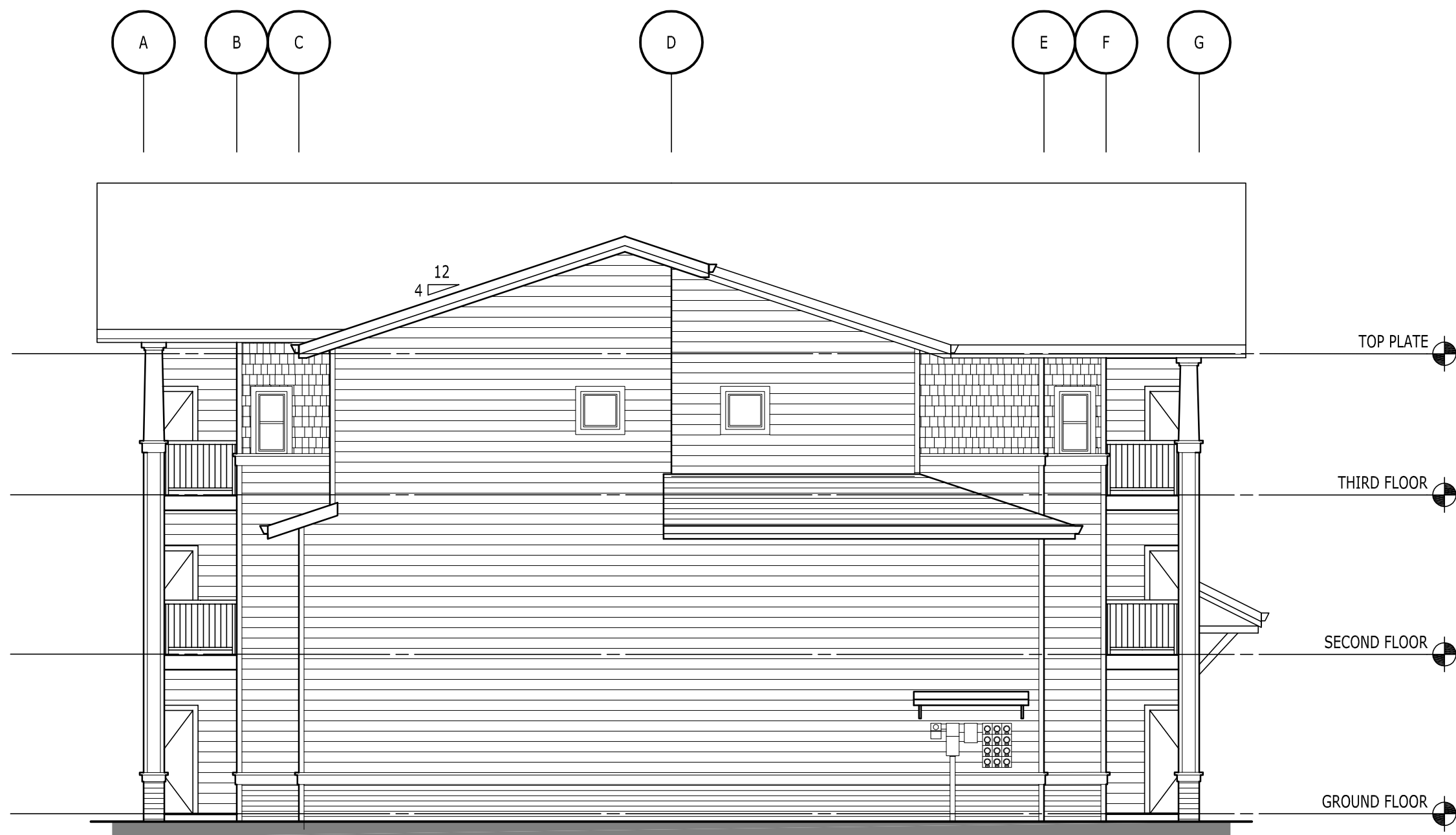
1 THIRD FLOOR PLAN - BUILDING L
A202 SCALE: 1/8" = 1'-0"

3 FOURTH FLOOR PLAN - BUILDING L
A202 SCALE: 1/8" = 1'-0"

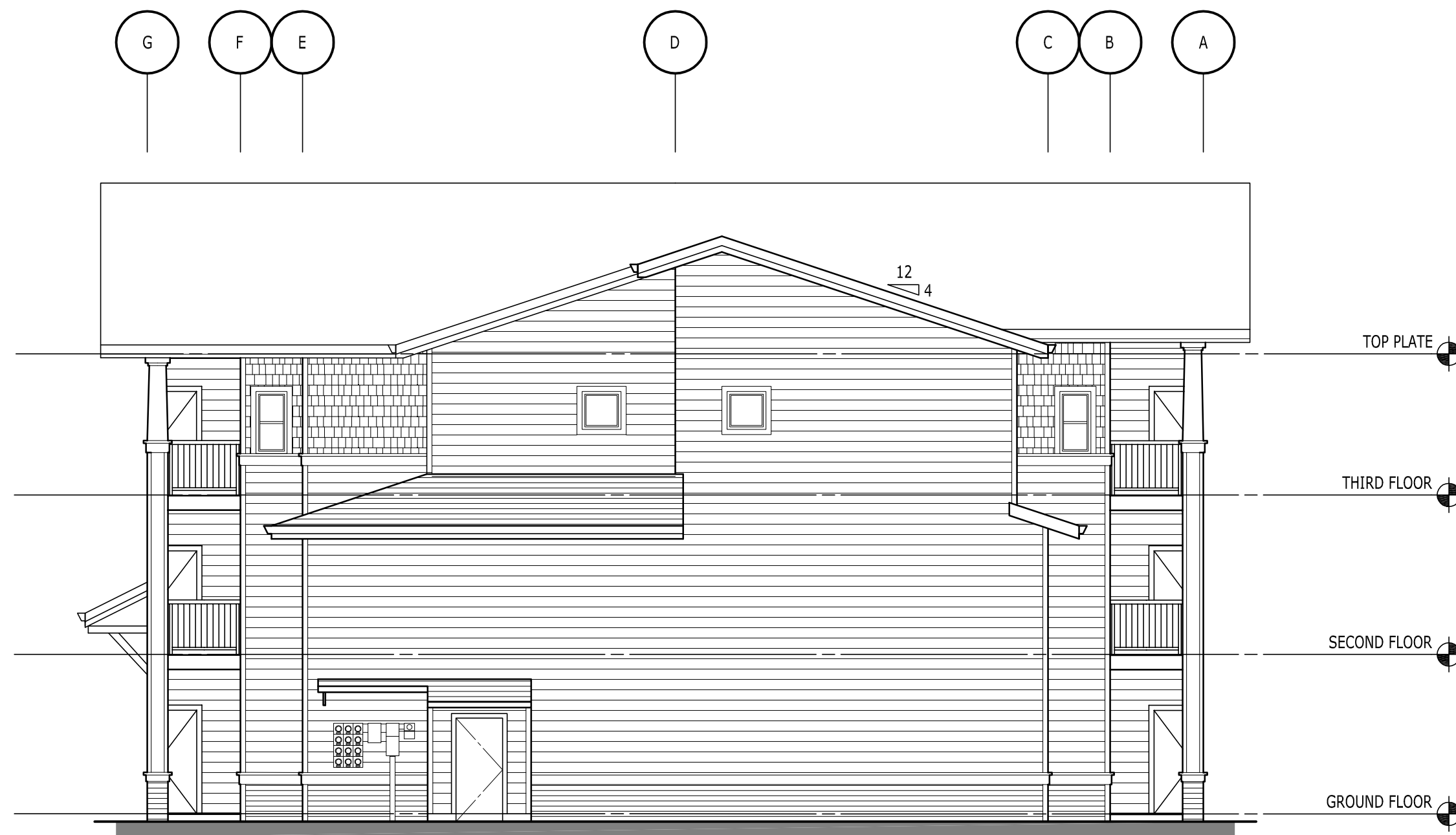
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3 REAR ELEVATION - BUILDING E
A301 SCALE: 1/8" = 1'-0"



4 LEFT SIDE ELEVATION - BUILDING E
A301 SCALE: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION - BUILDING E
A301 SCALE: 1/8" = 1'-0"



1 PARKING ELEVATION - BUILDING E
A301 SCALE: 1/8" = 1'-0"

SEE SHEET A301 BUILDING H FOR TYPICAL
ELEVATION NOTES

THIS WIDTH SHOULD BE 3"

26-JUNE-2015 DDP / PRICING SUBMITTAL

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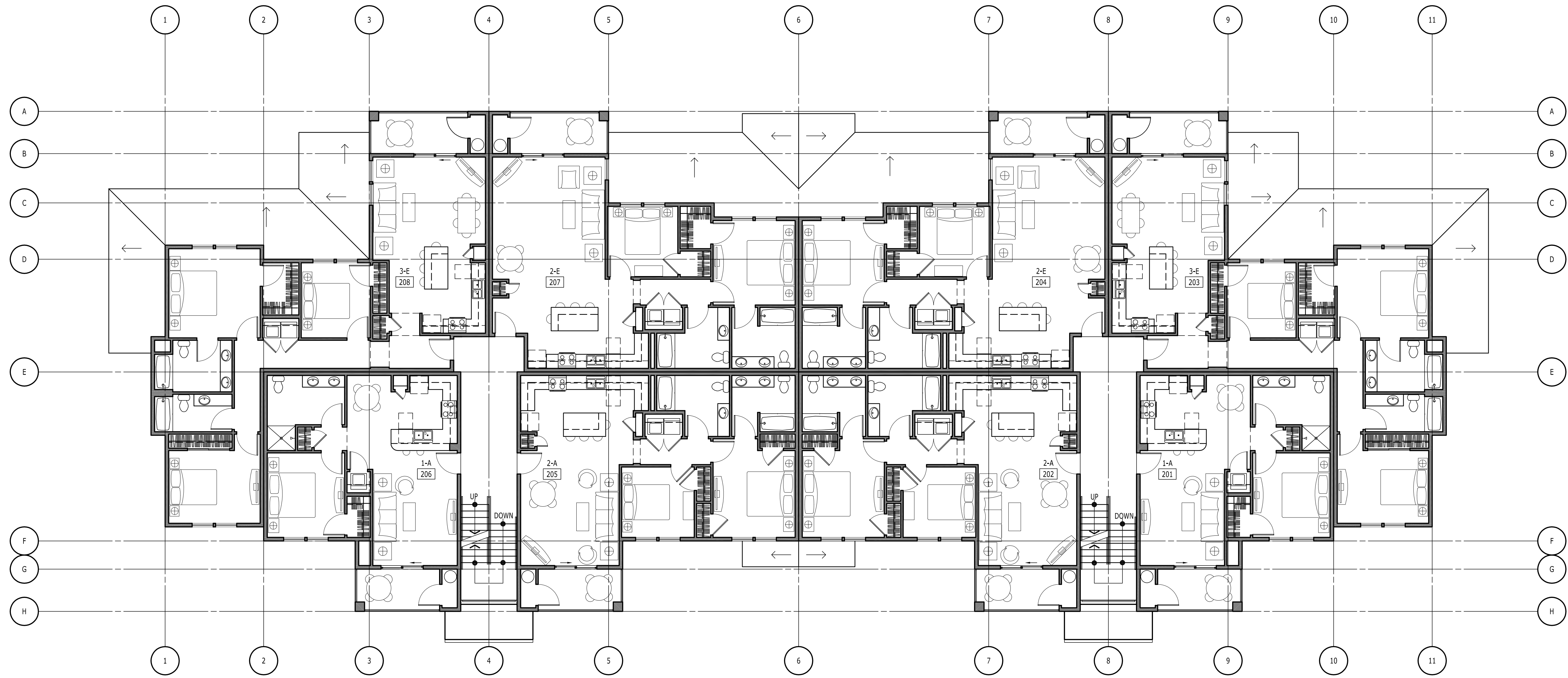
BUILDING E (BLDGS G & L SIM)
EXTERIOR ELEVATIONS

A301E

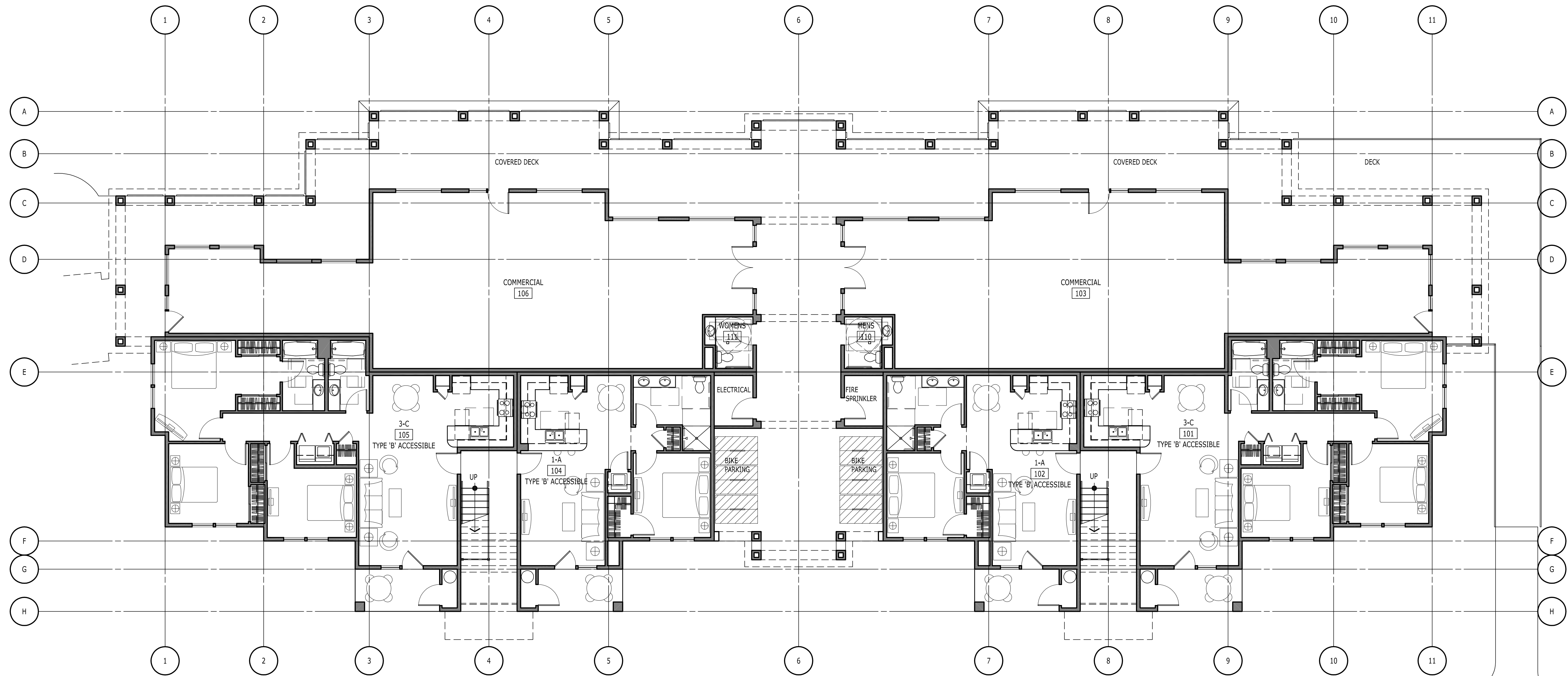


SEE SHEET A301 BUILDING H FOR TYPICAL
ELEVATION NOTES

Date: Friday, August 21, 2015 7:54:28 AM / Location: P:\2014_10514688 Cove Garden Apartments - Simpson\B Drawing\A201 Plan D.F.dwg / User: Robin Chen / Layout: A201F



2 SECOND FLOOR PLAN - BUILDING F
A201 SCALE: 1/8" = 1'-0"



1 GROUND FLOOR PLAN - BUILDING F
A201 SCALE: 1/8" = 1'-0"

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OREGON CITY, OREGON

THIS WIDTH SHOULD BE 3"

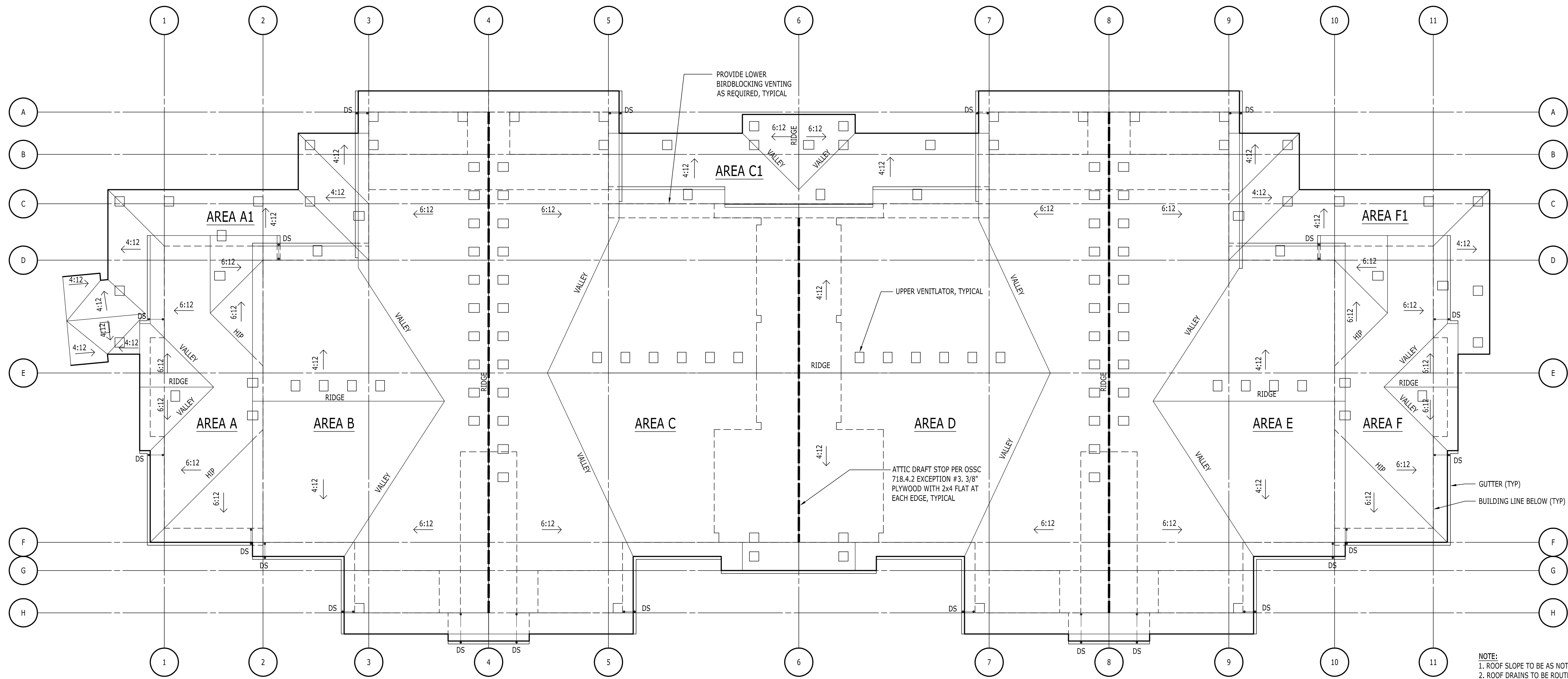
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PROJECT NUMBER	14688	DRAWN BY rtc
CHECKED BY	LWH	

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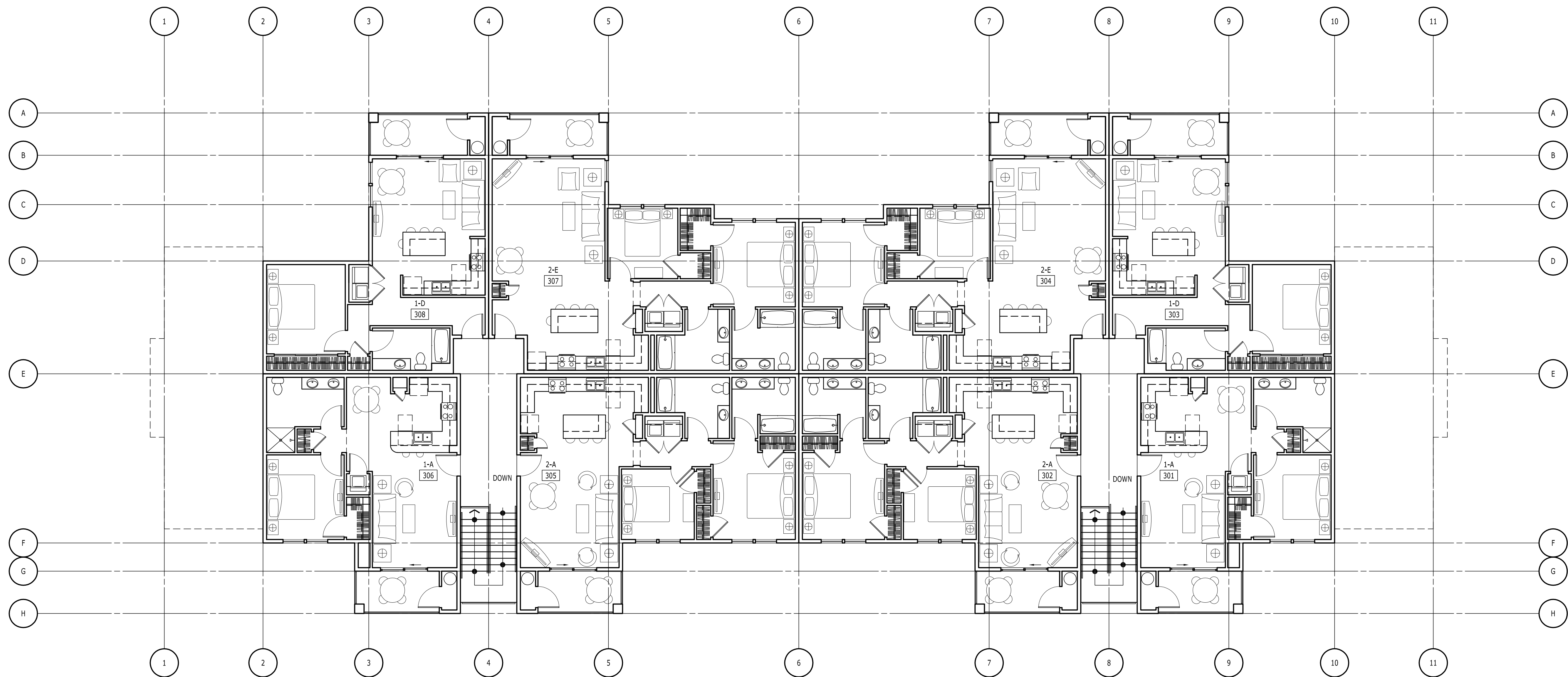
← BUILDING F
GROUND FLOOR PLAN &
SECOND FLOOR PLAN

A201F

Date: Thursday, June 25, 2015 3:51:43 PM / Location: F:\2014_05014688 Cove Garden Apartments - Simpson\8 Drawing\A2021 Page D, E.dwg / User: Marcus Jones / Layout: A202F



2 ROOF PLAN - BUILDING F
A202 SCALE: 1/8" = 1'-0"



1 THIRD FLOOR PLAN - BUILDING F
A202 SCALE: 1/8" = 1'-0"

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(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2" HOLES PROVIDES 5.25 SQ.IN.

HIGH - 73% (200/ 50 = 4 VENTS)
LOW - 27% (75/ 5.25 = 15 BIRDBLOCKS)

AREA D - THE ROOF IS 2,499SF SO 2,499/ 300 = 8.335F (x144SQ.IN. = 1200SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2" HOLES PROVIDES 5.25 SQ.IN.

HIGH - 75% (900/ 50 = 18 VENTS)
LOW - 25% (300/ 5.25 = 58 BIRDBLOCKS)

AREA E - THE ROOF IS 1,827SF SO 1,827/ 300 = 6.095F (x144SQ.IN. = 877SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2" HOLES PROVIDES 5.25 SQ.IN.

HIGH - 80% (700/ 50 = 14 VENTS)
LOW - 20% (177/ 5.25 = 34 BIRDBLOCKS)

AREA F - THE ROOF IS 588SF SO 588/ 300 = 1.965F (x144SQ.IN. = 283SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2" HOLES PROVIDES 5.25 SQ.IN.

HIGH - 71% (200/ 50 = 4 VENTS)
LOW - 29% (83/ 5.25 = 16 BIRDBLOCKS)

AREA F1 - THE ROOF IS 452SF SO 452/ 300 = 1.515F (x144SQ.IN. = 218SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2" HOLES PROVIDES 5.25 SQ.IN.

HIGH - 69% (150/ 50 = 3 VENTS)
LOW - 31% (68/ 5.25 = 13 BIRDBLOCKS)

NOTE:
1. ROOF SLOPE TO BE AS NOTED.
2. ROOF DRAINS TO BE ROUTED TO PERIMETER FOUNDATION DRAIN.

THIS WIDTH SHOULD BE 3"

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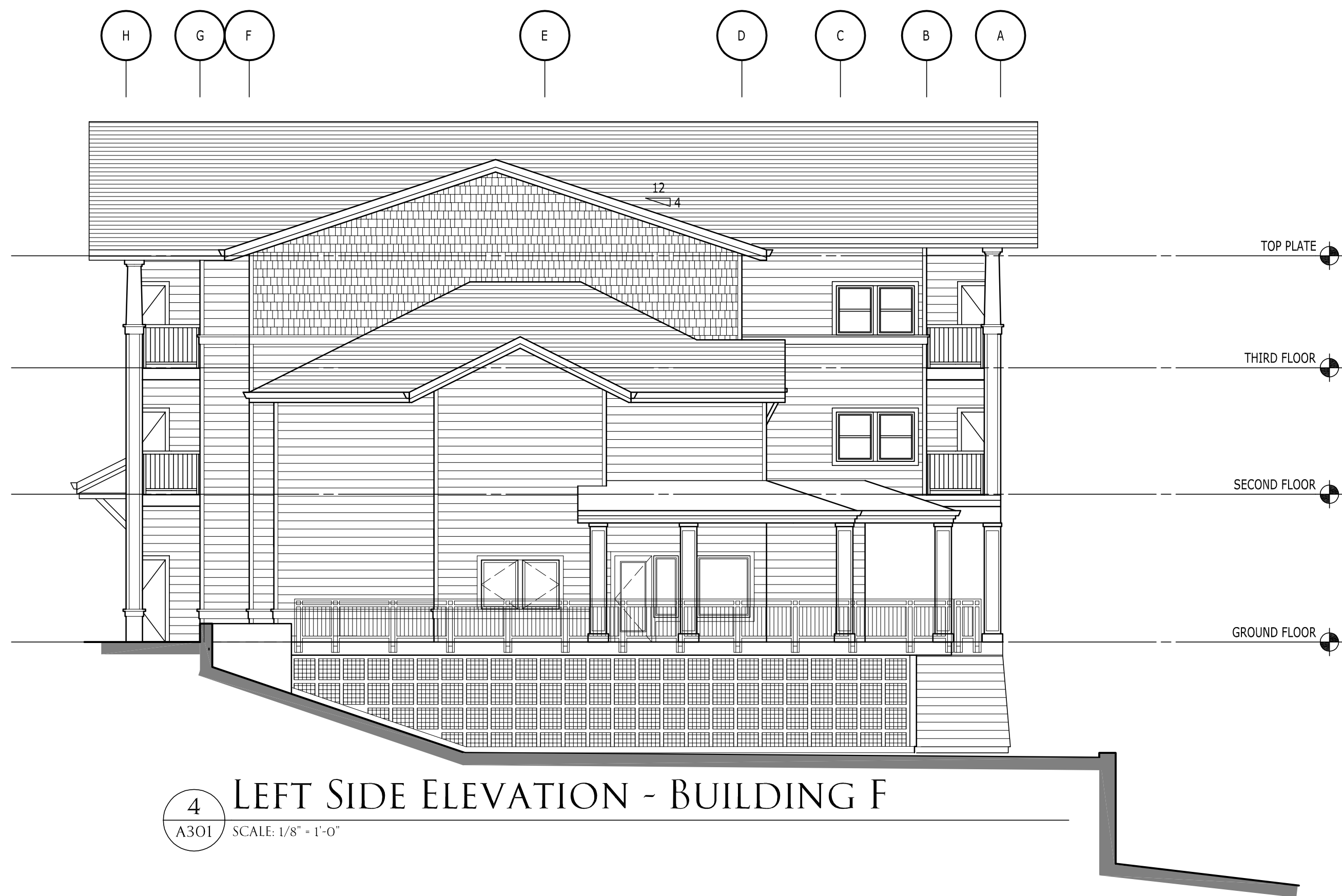
BUILDING F
THIRD FLOOR PLAN &
ROOF PLAN

A202F

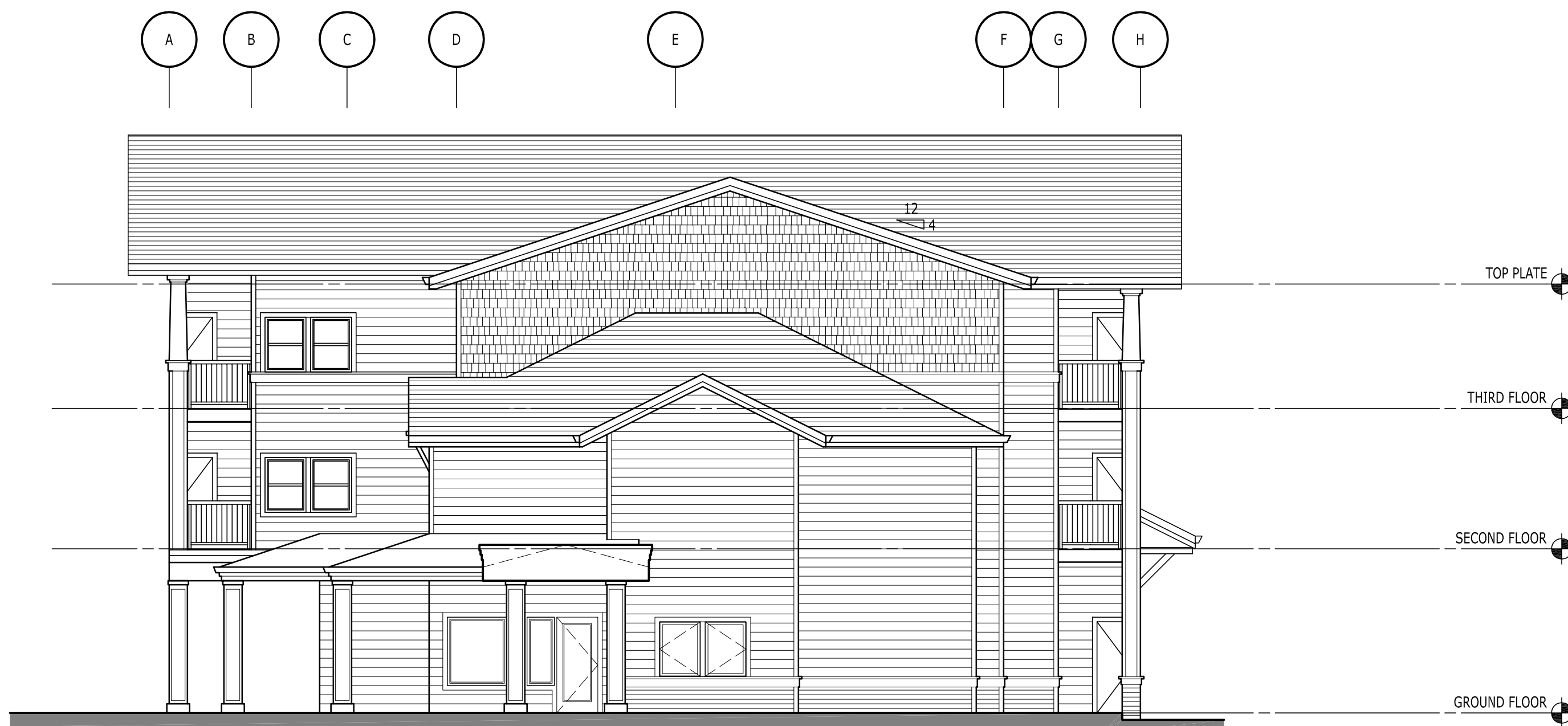
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3 MAIN STREET ELEVATION - BUILDING F
A301 SCALE: 1/8" = 1'-0"



4 LEFT SIDE ELEVATION - BUILDING F
A301 SCALE: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION - BUILDING F
A301 SCALE: 1/8" = 1'-0"



1 PARKING ELEVATION - BUILDING F
A301 SCALE: 1/8" = 1'-0"

SEE SHEET A301 BUILDING D FOR TYPICAL
ELEVATION NOTES

HILL
ARCHITECTS
1750 BLANKENSHIP ROAD
SUITE 400
WEST LINN, OREGON 97068
TEL 503.305.8033 FAX 503.305.8034

THE COVE
GARDEN APARTMENTS
OREGON CITY, OREGON

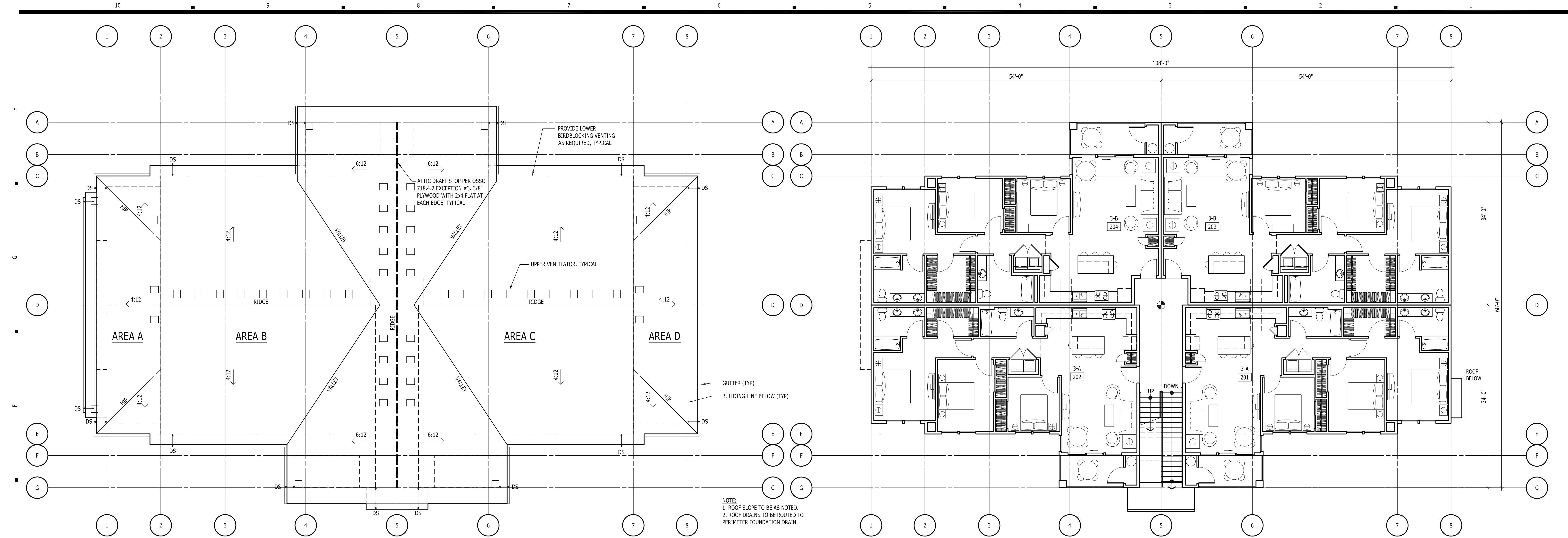
THIS WIDTH SHOULD BE 3"

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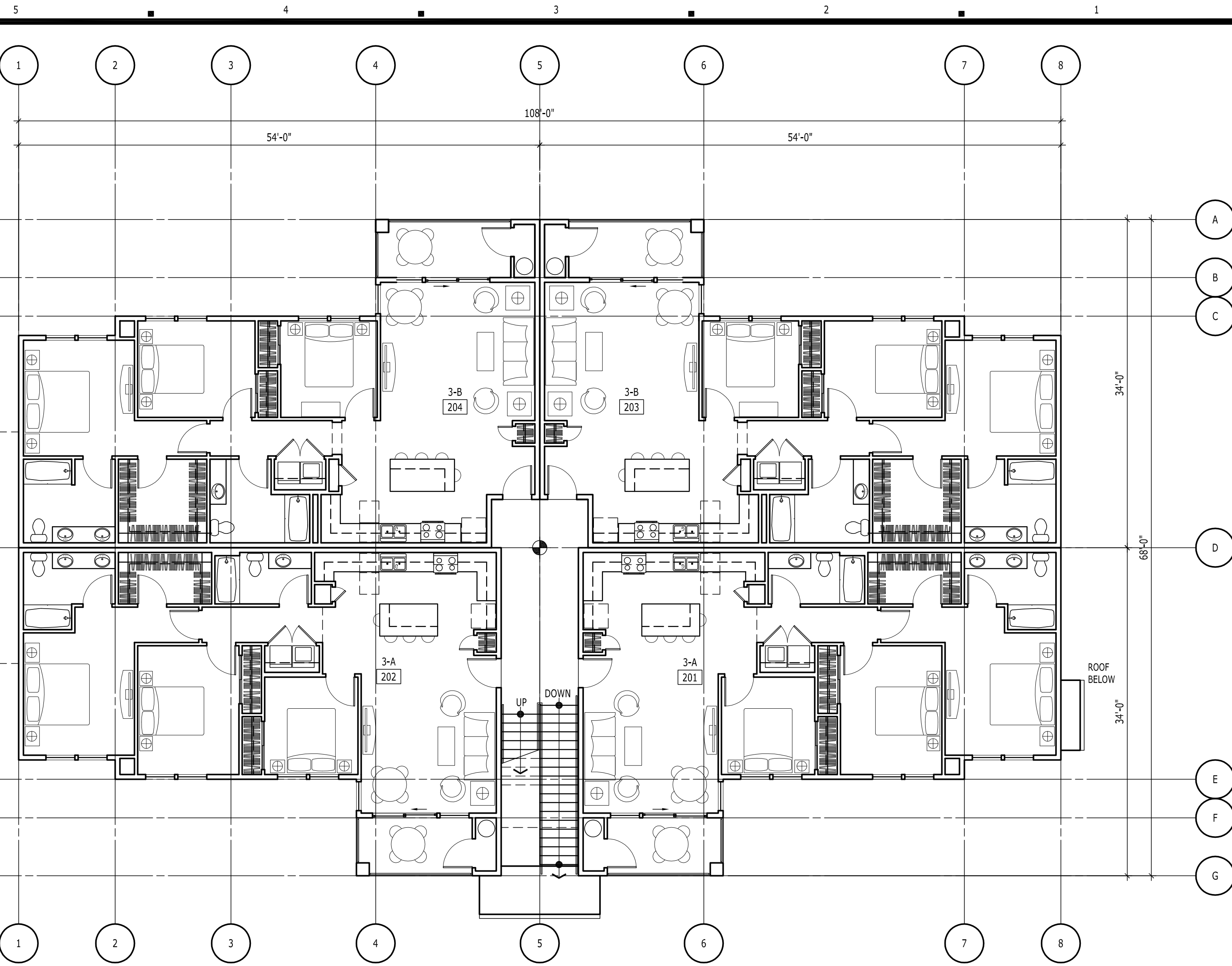
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BUILDING F
EXTERIOR ELEVATIONS

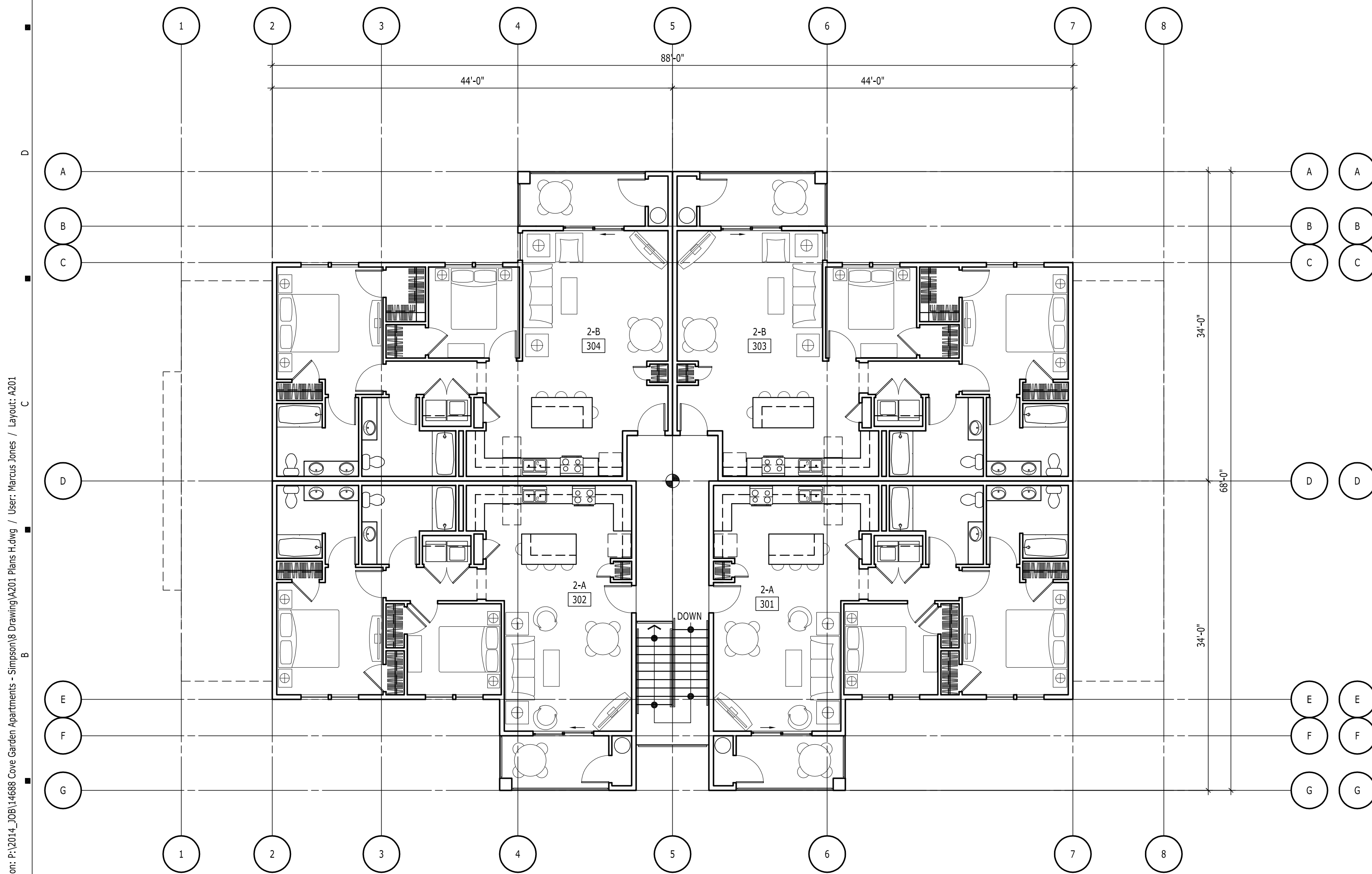
A301F



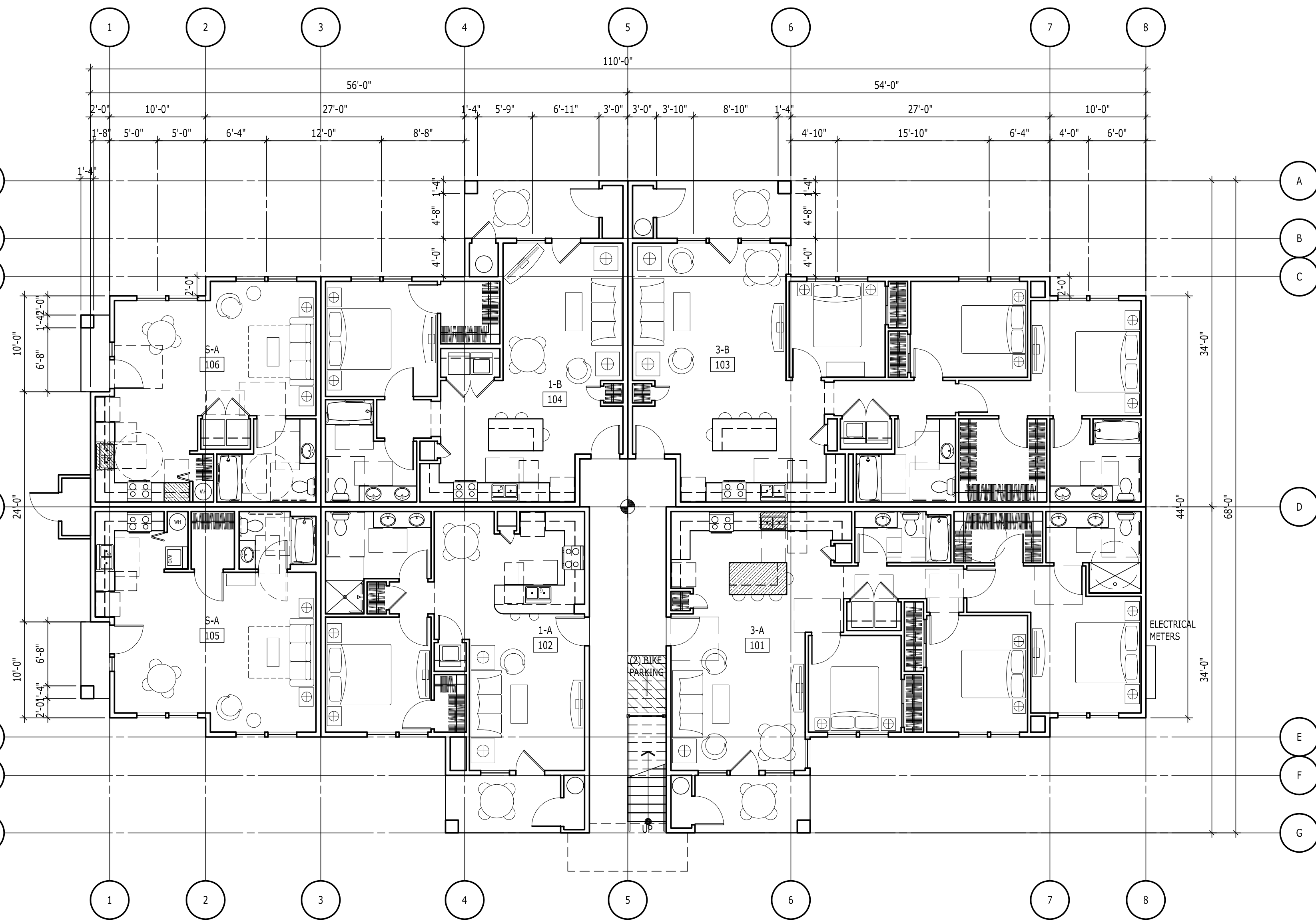
4 ROOF PLAN - BUILDING H
A201 SCALE: 1/8" = 1'-0"



2 SECOND FLOOR PLAN - BUILDING H
A201 SCALE: 1/8" = 1'-0"



3 THIRD FLOOR PLAN - BUILDING H
A201 SCALE: 1/8" = 1'-0"



1 GROUND FLOOR PLAN - BUILDING H
A201 SCALE: 1/8" = 1'-0"

Date: Thursday, June 25, 2015 3:54:49 PM / Location: F:\2014_2014_06014688 Cove Garden Apartments - Simpson\B Drawing\A301 Elevations H.dwg / User: Marcus Jones / Layout: A301

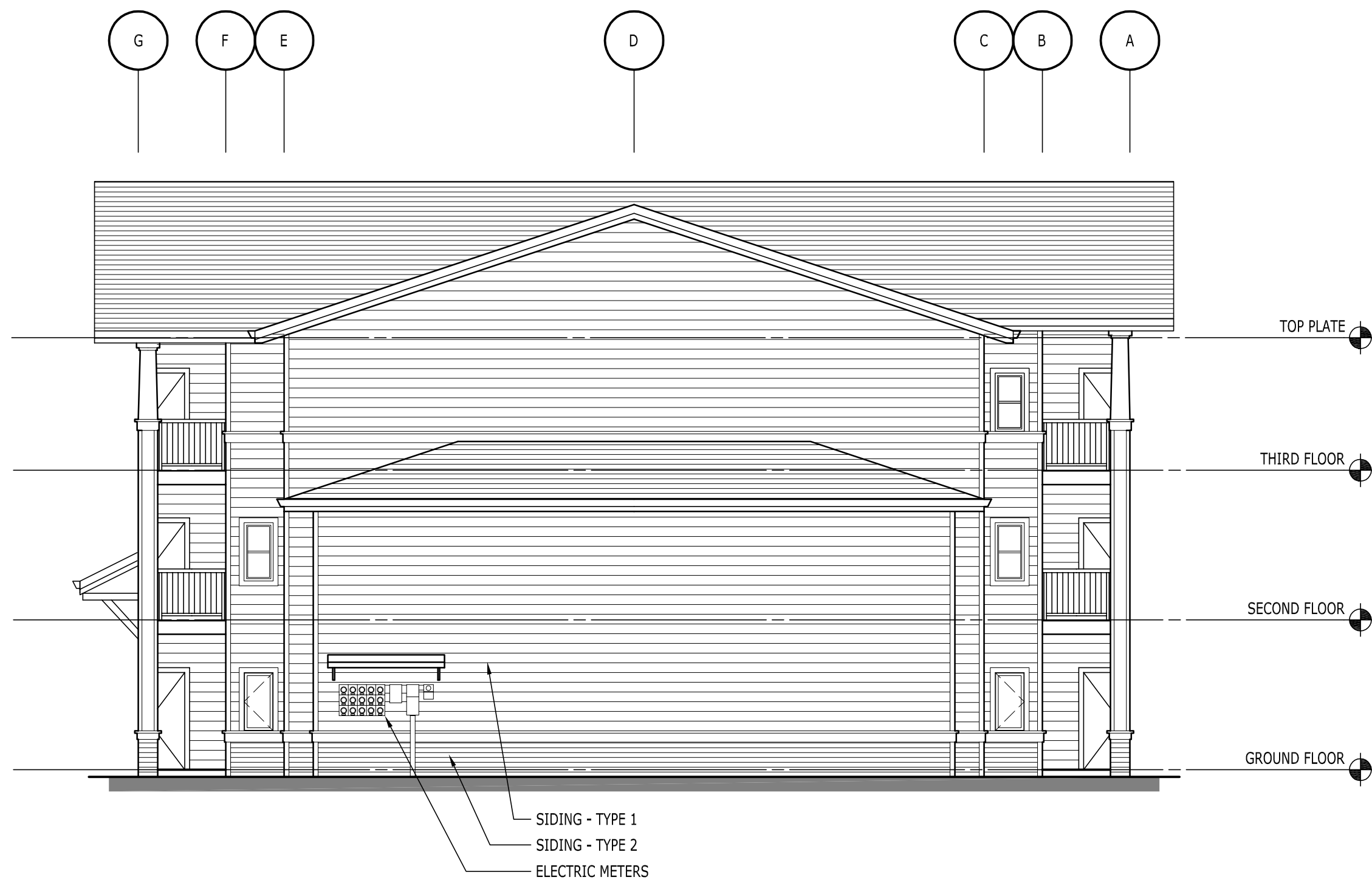


GENERAL NOTES:
A. REFER TO FLOOR PLAN FOR WINDOWS AND DOORS SOME MAY NOT BE SHOWN ON ELEVATIONS

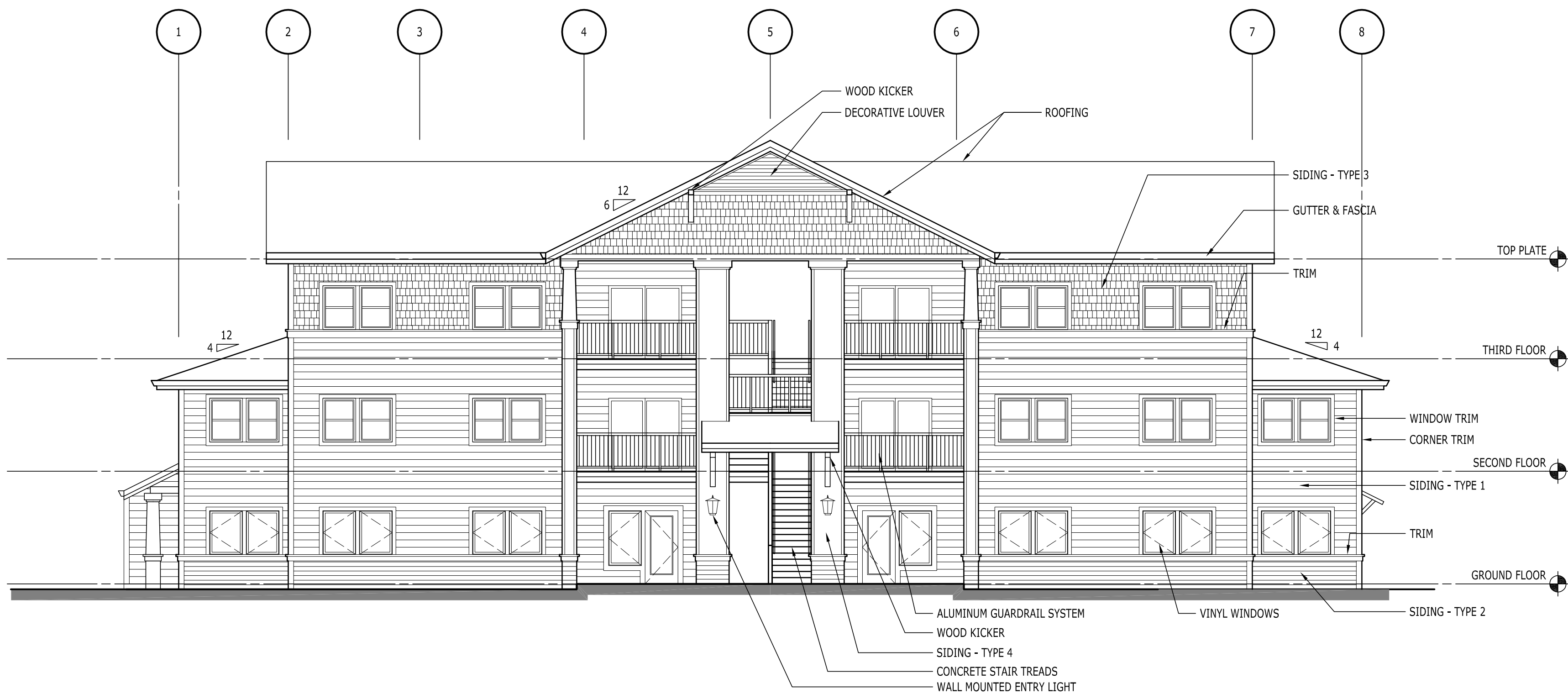
3 REAR ELEVATION - BUILDING H
A301 SCALE: 1/8" = 1'-0"



4 LEFT SIDE ELEVATION - BUILDING H
A301 SCALE: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION - BUILDING H
A301 SCALE: 1/8" = 1'-0"



1 PARKING ELEVATION - BUILDING H
A301 SCALE: 1/8" = 1'-0"

HILL
ARCHITECTS
1750 BLANKENSHIP ROAD
SUITE 400
WEST LINN, OREGON 97068
TEL 503.305.8033 FAX 503.305.8034

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GARDEN APARTMENTS
OREGON CITY, OREGON

THIS WIDTH SHOULD BE 3"

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BUILDING H
EXTERIOR ELEVATIONS

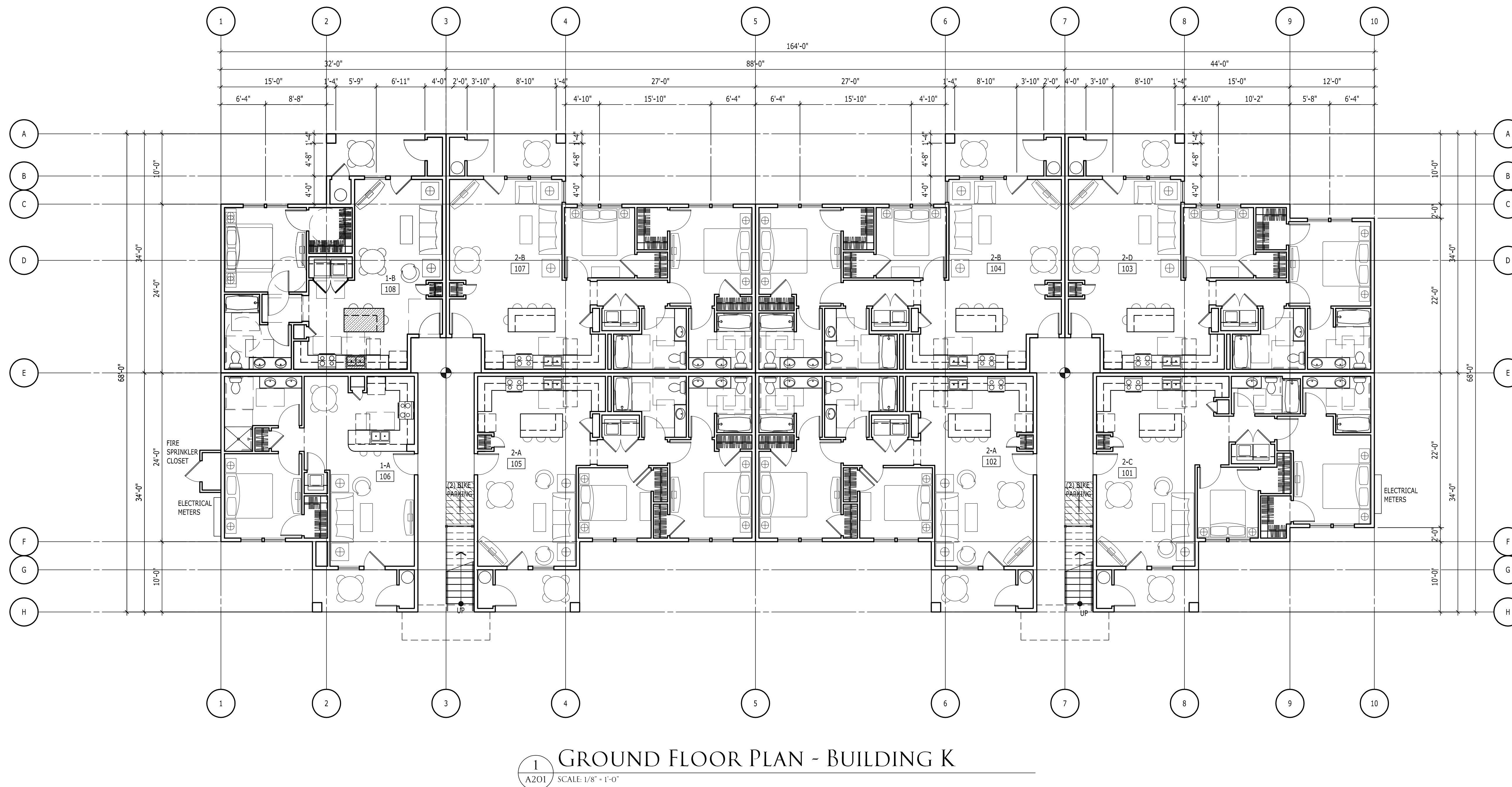
A301H

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BUILDING K (BLDG M SIM)
GROUND FLOOR PLAN &
SECOND FLOOR PLAN

A201K



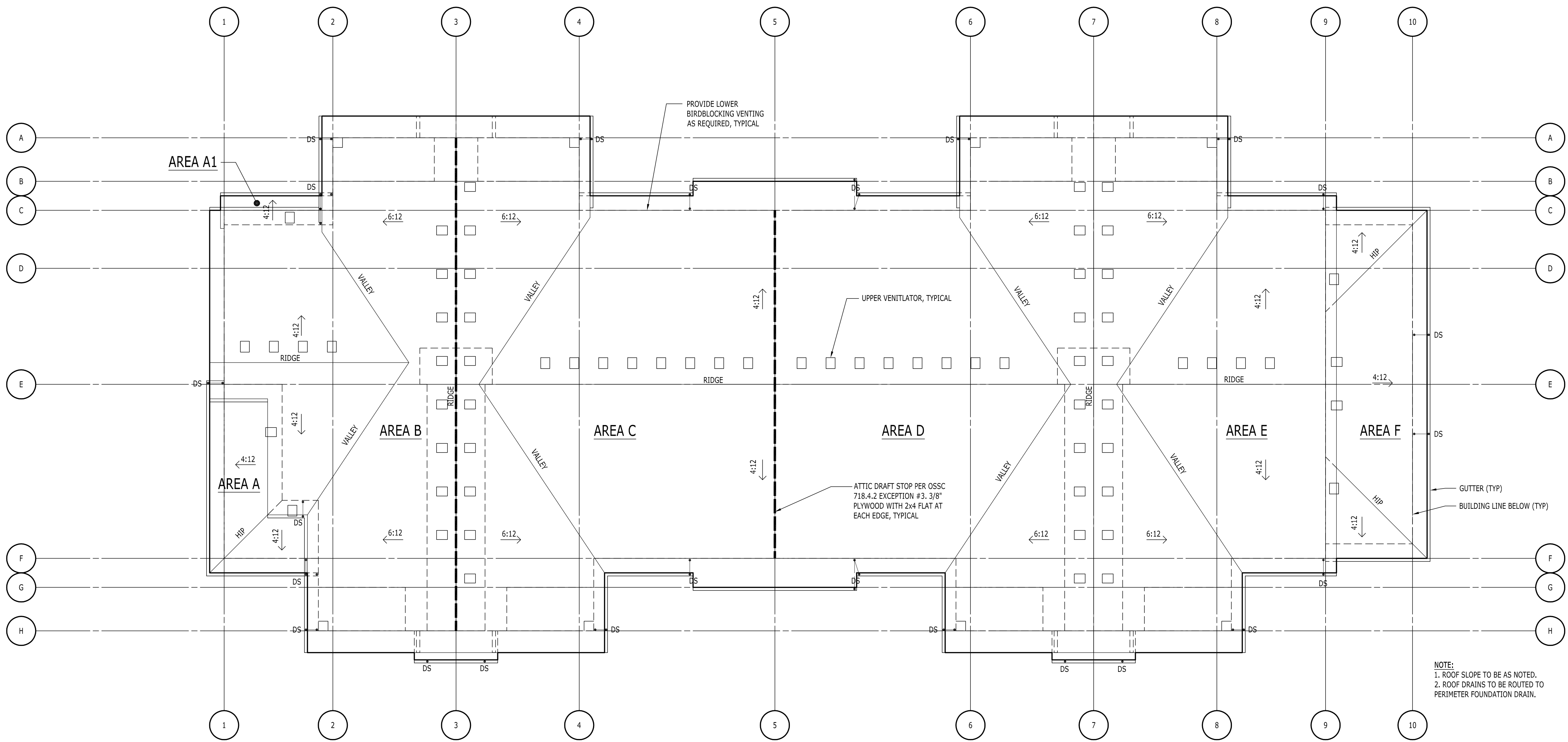
2 SECOND FLOOR PLAN - BUILDING K
A201 SCALE: 1/8" = 1'-0"

1
A201

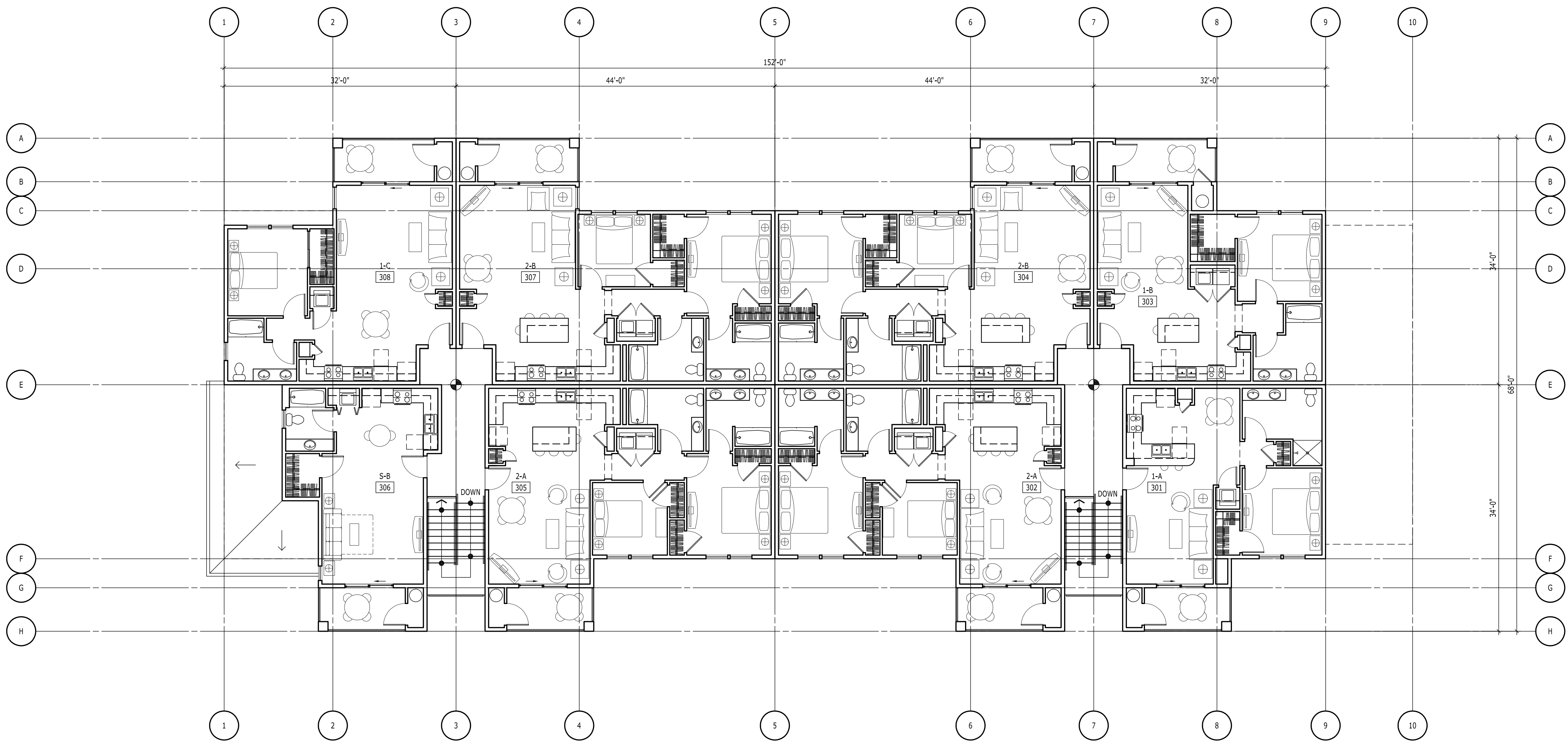
GROUND FLOOR PLAN - BUILDING K

SCALE: 1/8" = 1'-0"

Date: Thursday, June 25, 2015 3:59:13 PM / Location: F:\2014_06014688 Cove Garden Apartments - Simpson\8 Drawing\A201 Page K_M.dwg / User: Marcus Jones / Layout: A202K



2 ROOF PLAN - BUILDING K
A202 SCALE: 1/8" = 1'-0"



1 THIRD FLOOR PLAN - BUILDING K
A202 SCALE: 1/8" = 1'-0"

ATTIC SPACE VENTILATION:

PER OSSC 1203.2 ATTIC SPACES, EXCEPTION 1.1: THE NET FREE CROSS-VENTILATING AREA SHALL PERMITTED TO BE REDUCED TO 1/ 300 PROVIDED THAT NOT LESS THAN 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE...WITH THE BALANCE OF REQUIRED VENTILATION PROVIDED BY EAVE OF CORNICE VENTS.

AREA A - THE ROOF IS 2325F SQ 232/ 300 = 0.775F (x144SQ.IN. = 1115SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2"Ø HOLES PROVIDES 5.25 SQ.IN.

HIGH - 50% (56/ 50 = 2 VENTS)
LOW - 50% (56/ 5.25 = 11 BIRDBLOCKS)

AREA A1 - THE ROOF IS 305F SQ 30/ 300 = 0.105F (x144SQ.IN. = 155SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2"Ø HOLES PROVIDES 5.25 SQ.IN.

HIGH - (1 VENTS)
LOW - (2 BIRDBLOCKS)

AREA B - THE ROOF IS 1,6345F SQ 1,634/ 300 = 5.455F (x144SQ.IN. = 785SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2"Ø HOLES PROVIDES 5.25 SQ.IN.

HIGH - 76% (600/ 50 = 12 VENTS)
LOW - 24% (185/ 5.25 = 36 BIRDBLOCKS)

AREA C - THE ROOF IS 2,4725F SQ 2,472/ 300 = 8.245F (x144SQ.IN. = 1187SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2"Ø HOLES PROVIDES 5.25 SQ.IN.

HIGH - 76% (900/ 50 = 18 VENTS)
LOW - 24% (287/ 5.25 = 55 BIRDBLOCKS)

AREA D - THE ROOF IS 2,4725F SQ 2,472/ 300 = 8.245F (x144SQ.IN. = 1187SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2"Ø HOLES PROVIDES 5.25 SQ.IN.

HIGH - 76% (900/ 50 = 18 VENTS)
LOW - 24% (287/ 5.25 = 55 BIRDBLOCKS)

AREA E - THE ROOF IS 1,8965F SQ 1,896/ 300 = 5.455F (x144SQ.IN. = 911SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2"Ø HOLES PROVIDES 5.25 SQ.IN.

HIGH - 77% (700/ 50 = 14 VENTS)
LOW - 23% (211/ 5.25 = 40 BIRDBLOCKS)

AREA F - THE ROOF IS 5285F SQ 528/ 300 = 1.765F (x144SQ.IN. = 254SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2"Ø HOLES PROVIDES 5.25 SQ.IN.

HIGH - 79% (200/ 50 = 4 VENTS)
LOW - 21% (54/ 5.25 = 11 BIRDBLOCKS)

NOTE:
1. ROOF SLOPE TO BE AS NOTED.
2. ROOF DRAINS TO BE ROUTED TO PERIMETER FOUNDATION DRAIN.

THIS WIDTH SHOULD BE 3"

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BUILDING K (BLDG M SIM)

THIRD FLOOR PLAN &
ROOF PLAN

A202K

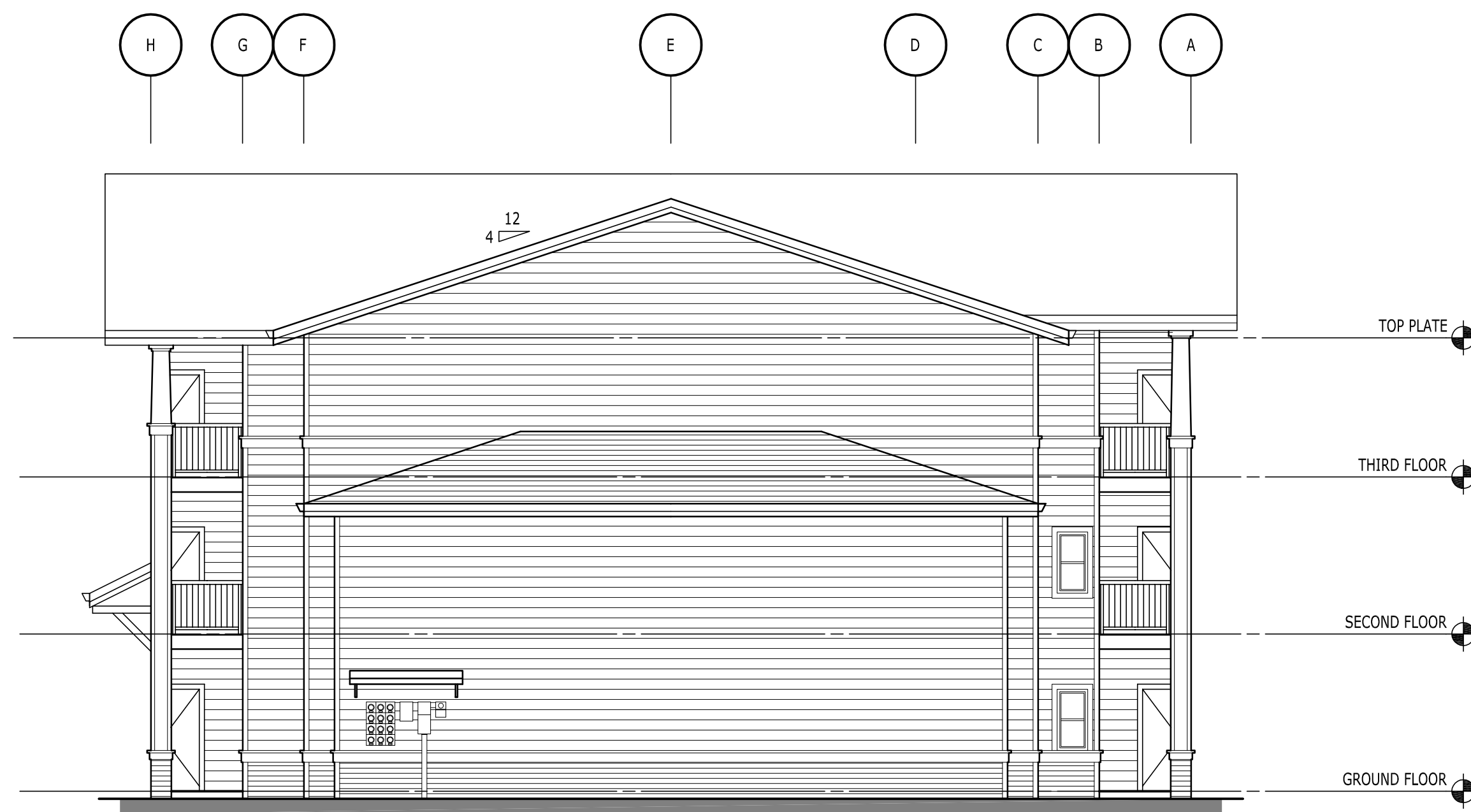
Date: Thursday, June 25, 2015 3:55:57 PM / Location: F:\2014_06014688 Cove Garden Apartments - Simpson\B Drawing\A301 Elevations K.M.dwg / User: Marcus Jones / Layout: A301K



3 REAR ELEVATION - BUILDING K
A301 SCALE: 1/8" = 1'-0"



4 LEFT SIDE ELEVATION - BUILDING K
A301 SCALE: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION - BUILDING K
A301 SCALE: 1/8" = 1'-0"



1 PARKING ELEVATION - BUILDING K
A301 SCALE: 1/8" = 1'-0"

SEE SHEET A301 BUILDING H FOR TYPICAL
ELEVATION NOTES

THIS WIDTH SHOULD BE 3"

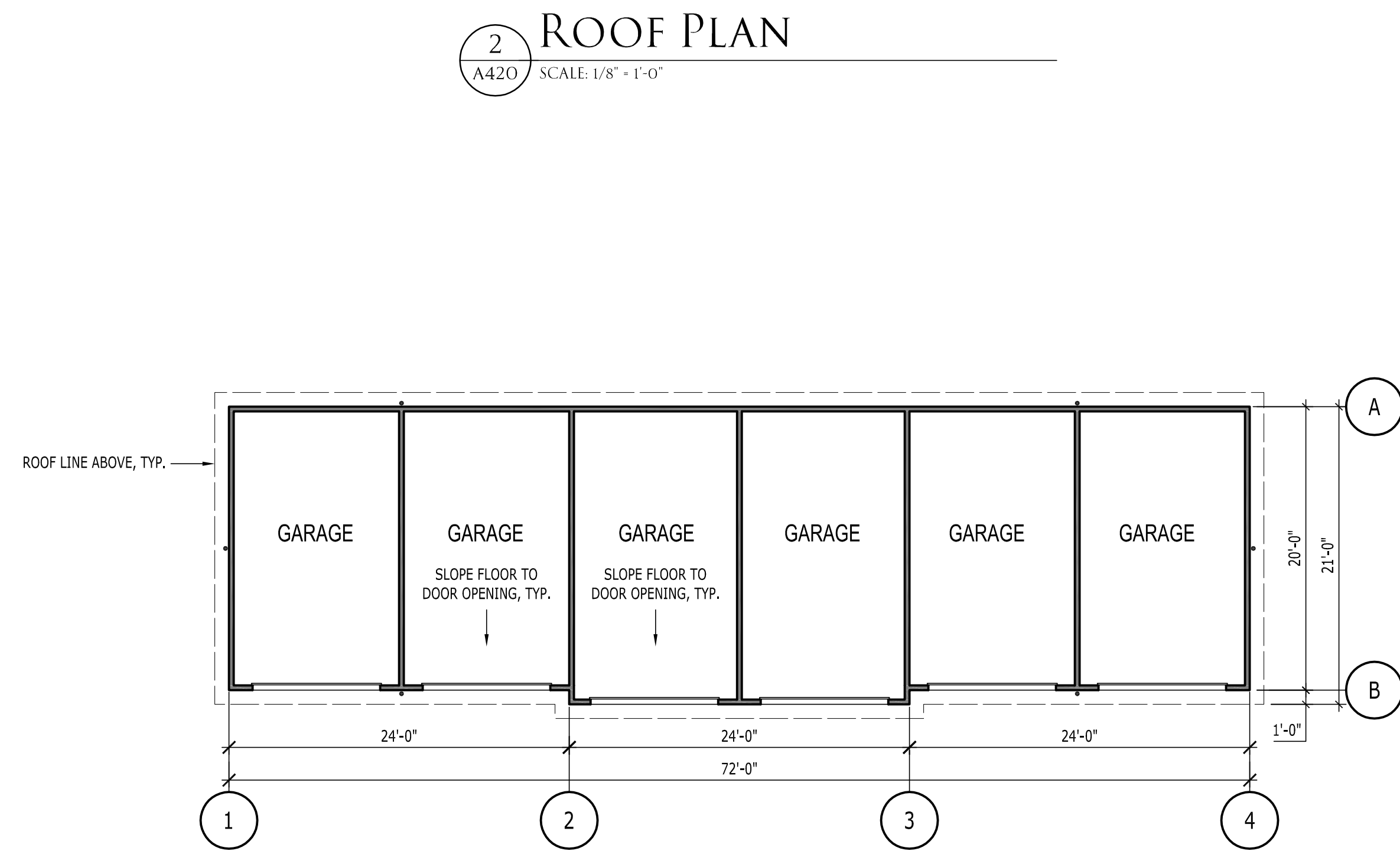
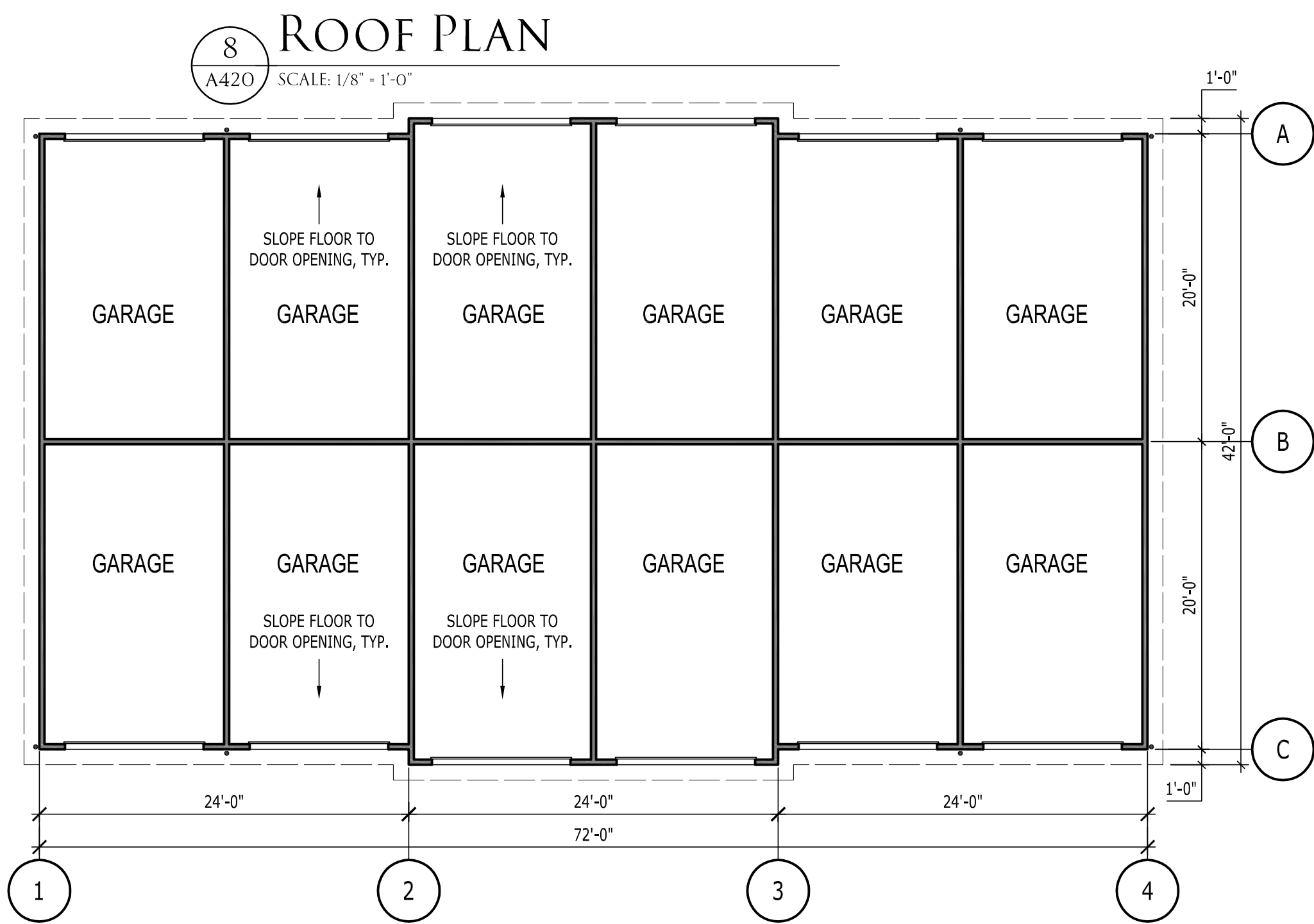
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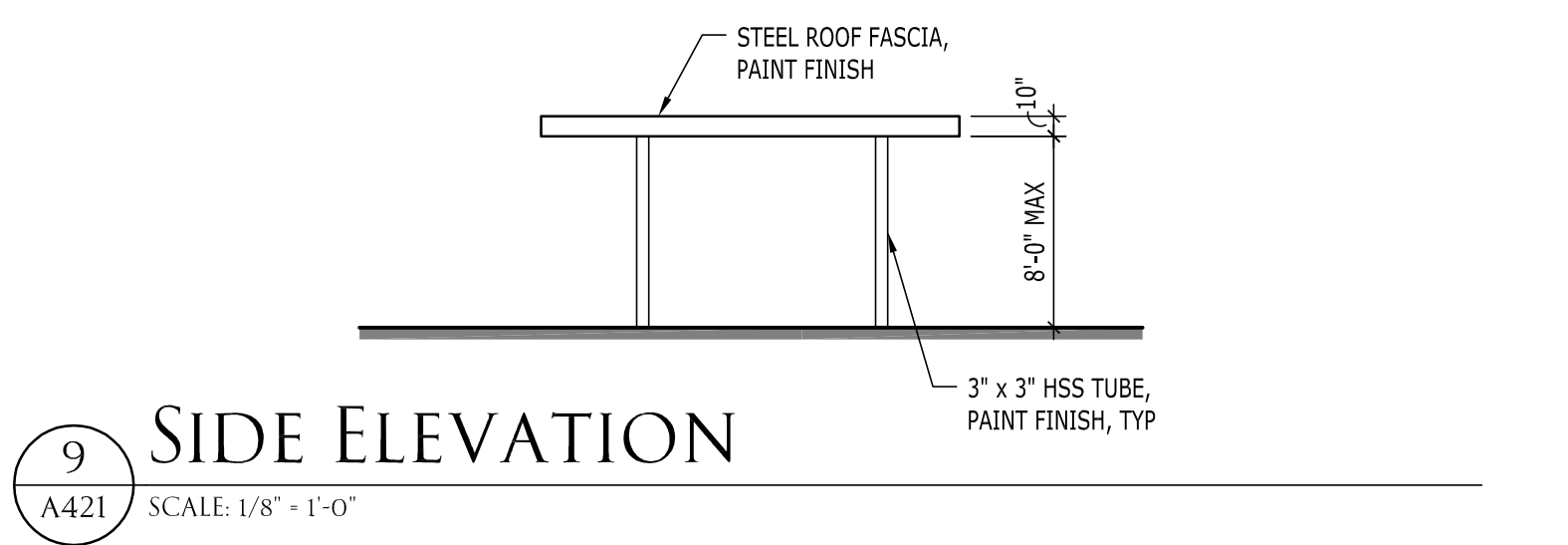
BUILDING K (BLDG M SIM)
EXTERIOR ELEVATIONS

A301K

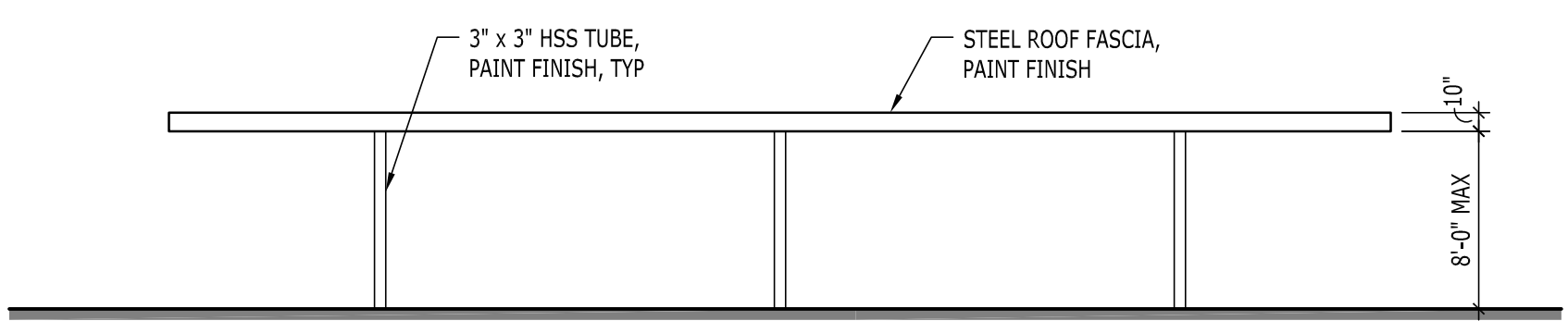


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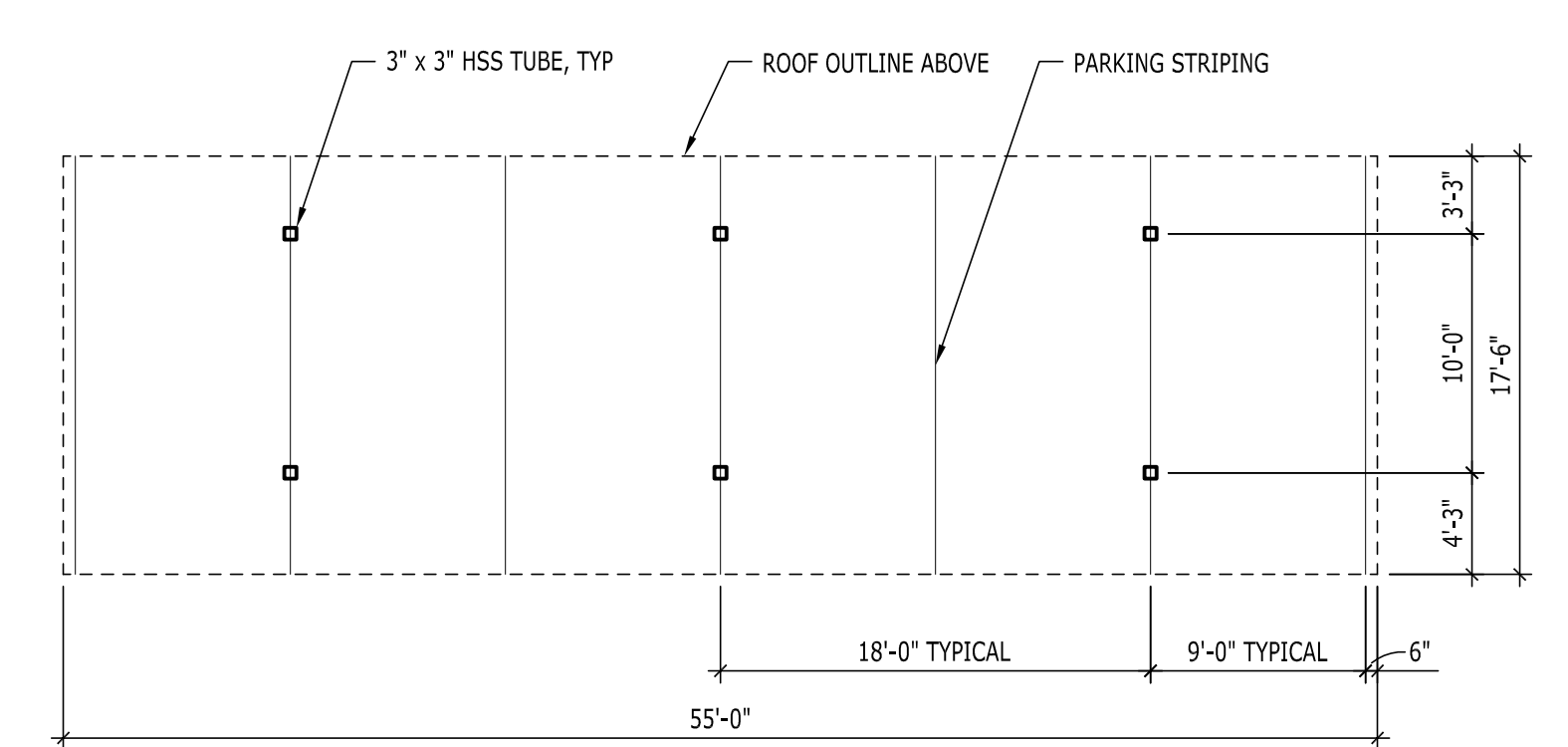
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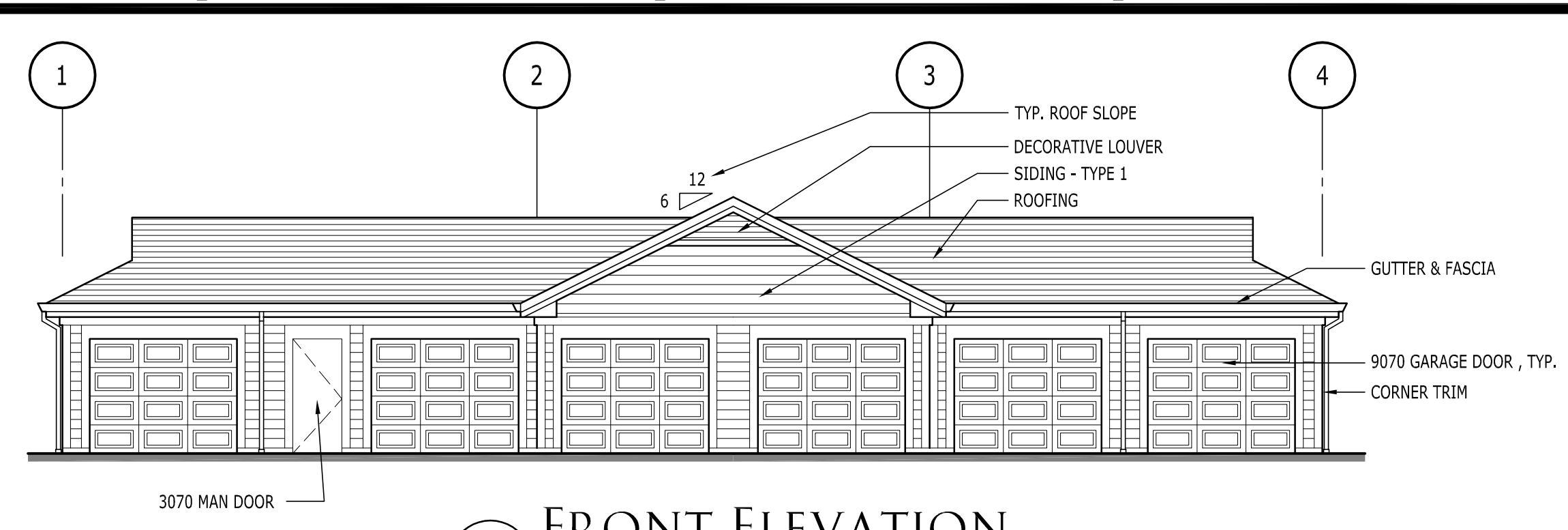
9 SIDE ELEVATION
A421 SCALE: 1/8" = 1'-0"



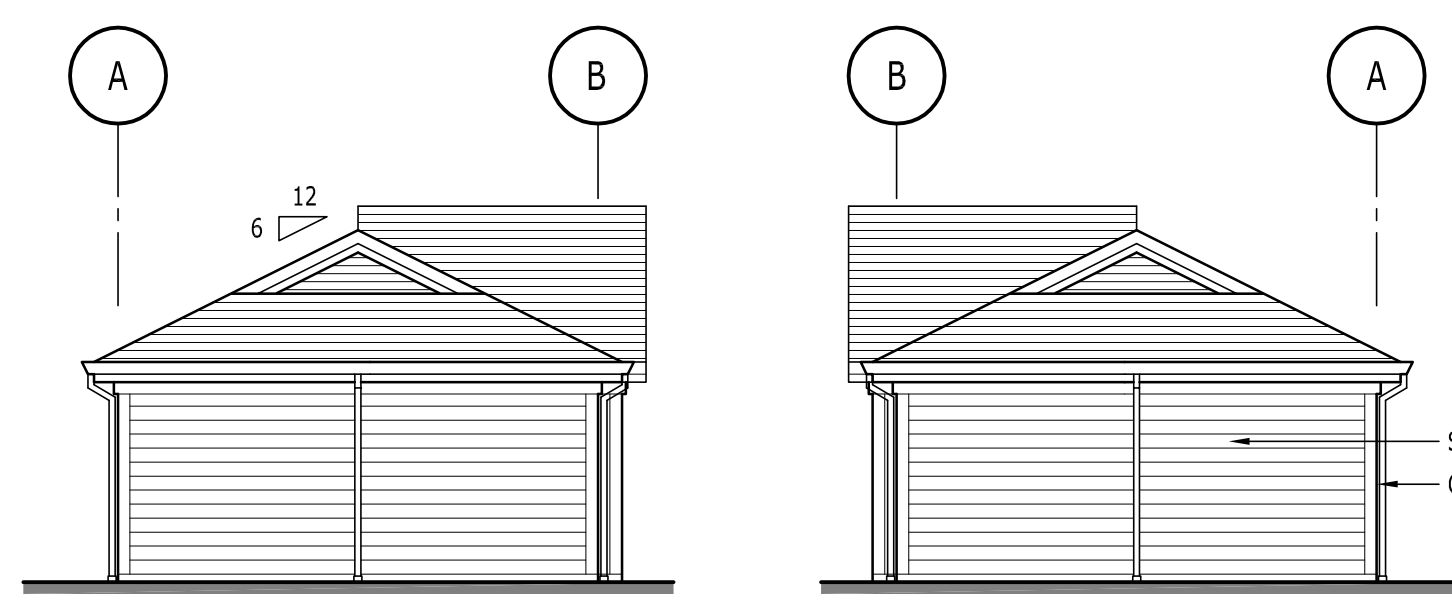
8 FRONT/ REAR ELEVATION
A421 SCALE: 1/8" = 1'-0"



7 FLOOR PLAN - CARPORT
A421 SCALE: 1/8" = 1'-0"

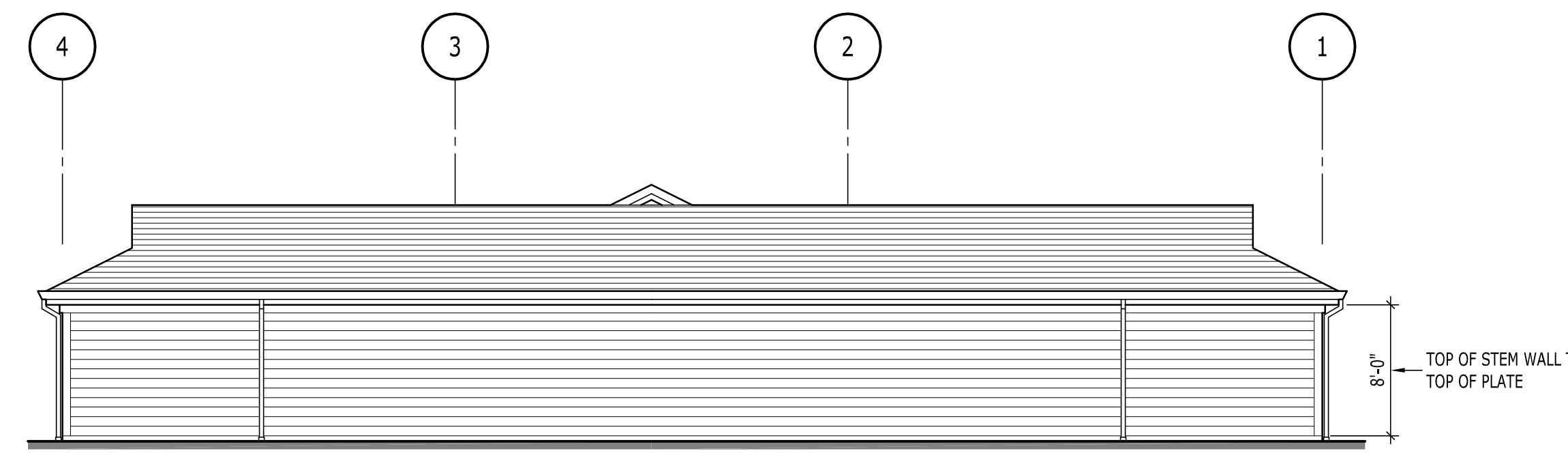


6 FRONT ELEVATION
A421 SCALE: 1/8" = 1'-0"

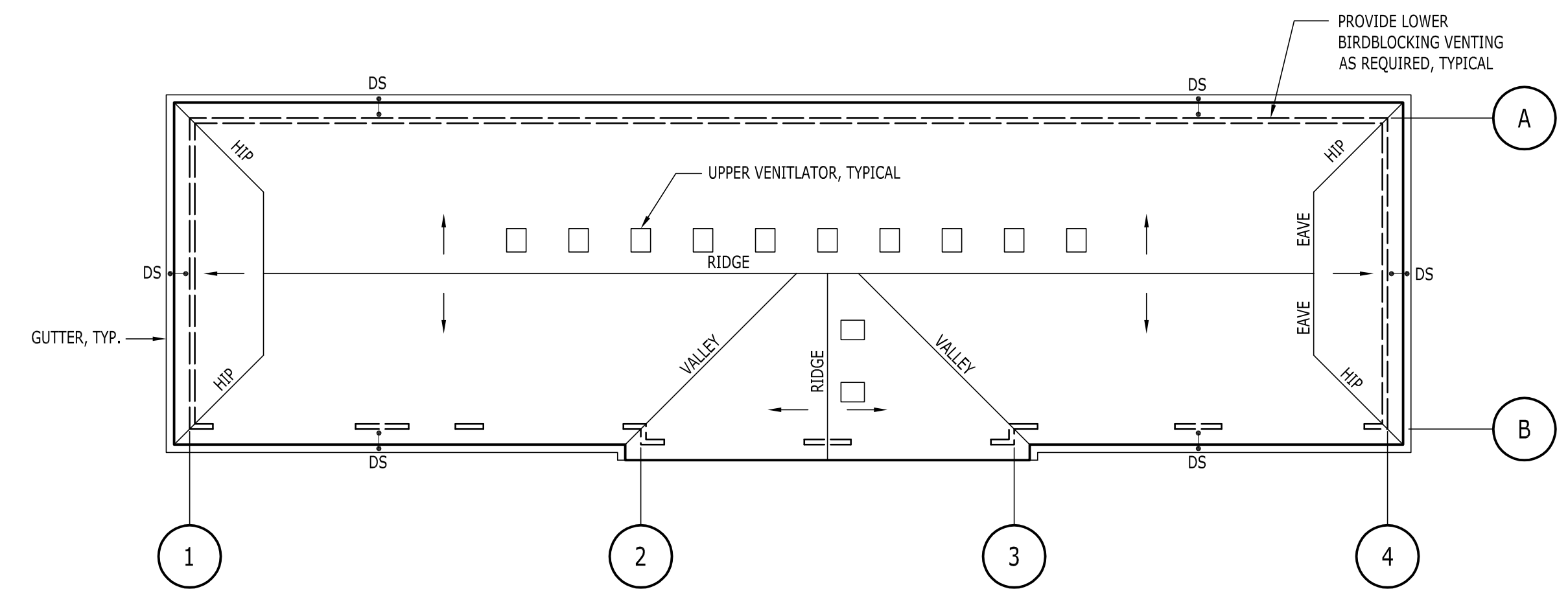


5 LEFT SIDE
A421 SCALE: 1/8" = 1'-0"

4 RIGHT SIDE
A421 SCALE: 1/8" = 1'-0"



3 REAR ELEVATION
A421 SCALE: 1/8" = 1'-0"



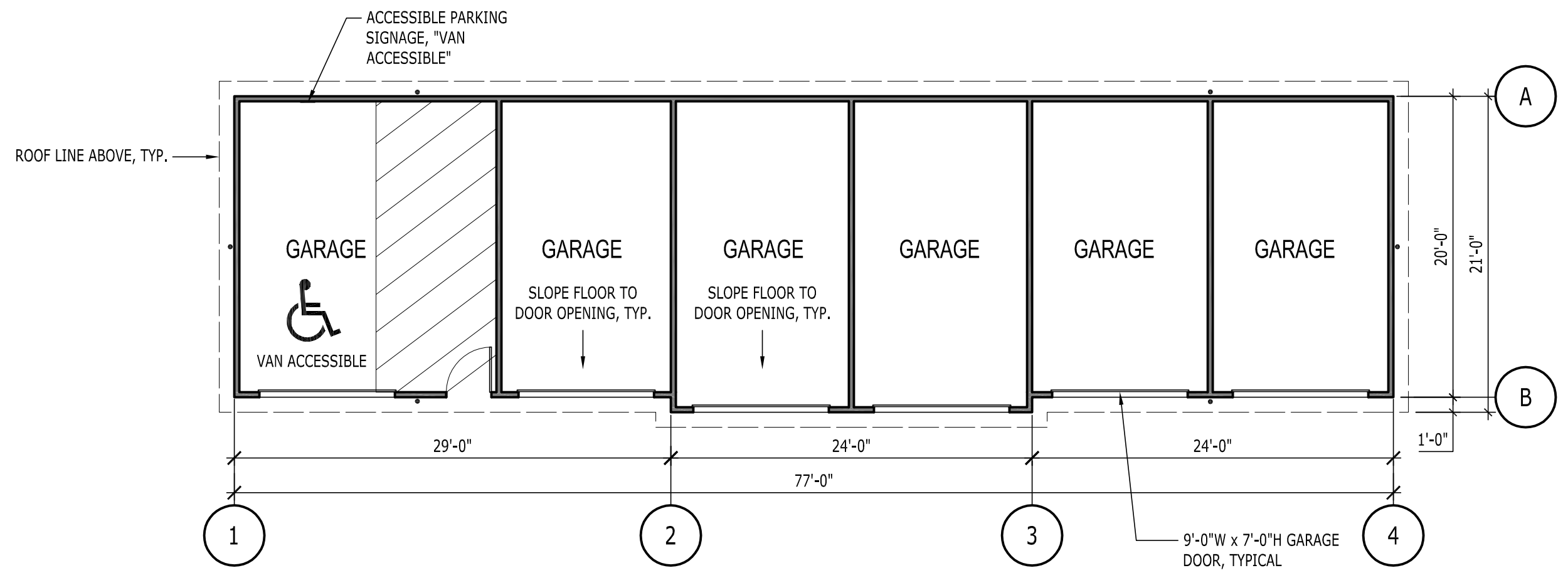
2 ROOF PLAN
A421 SCALE: 1/8" = 1'-0"

ATTIC SPACE VENTILATION:

PER OSSC 1203.2 ATTIC SPACES, EXCEPTION 1.1: THE NET FREE CROSS-VENTILATING AREA SHALL PERMITTED TO BE REDUCED TO 1/300 PROVIDED THAT NOT LESS THAN 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE...WITH THE BALANCE OF REQUIRED VENTILATION PROVIDED BY EAVE OF CORNICE VENTS.

AREA A - THE ROOF IS 1564SF SO 1564/ 300 = 5.215F (x144SQ.IN. = 751SQ.IN.) OF VENTILATION IS REQUIRED.
(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.
(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2" HOLES PROVIDES 5.25 SQ.IN.

HIGH - 79% (600/ 50 = 12 VENTS)
LOW - 21% (151/ 5.25 = 29 BIRDBLOCKS)



1 FLOOR PLAN - ACCESSIBLE GARAGE
A421 SCALE: 1/8" = 1'-0"

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H

G

F

E

D

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A

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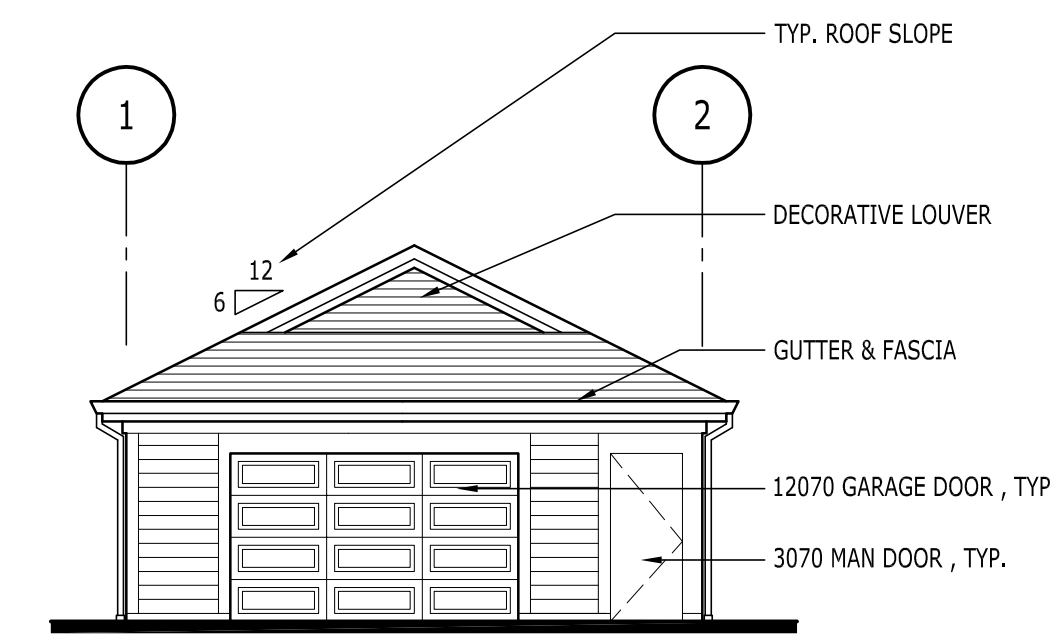
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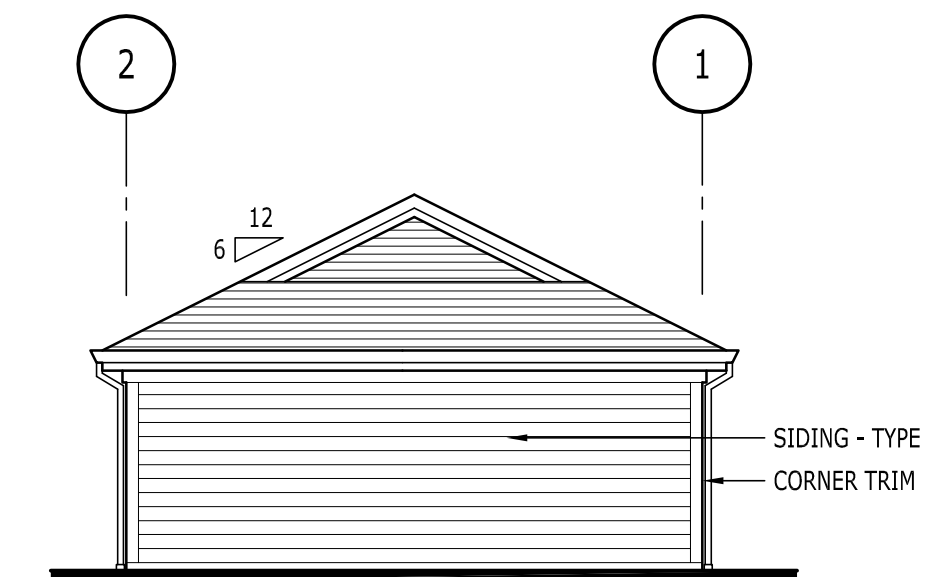
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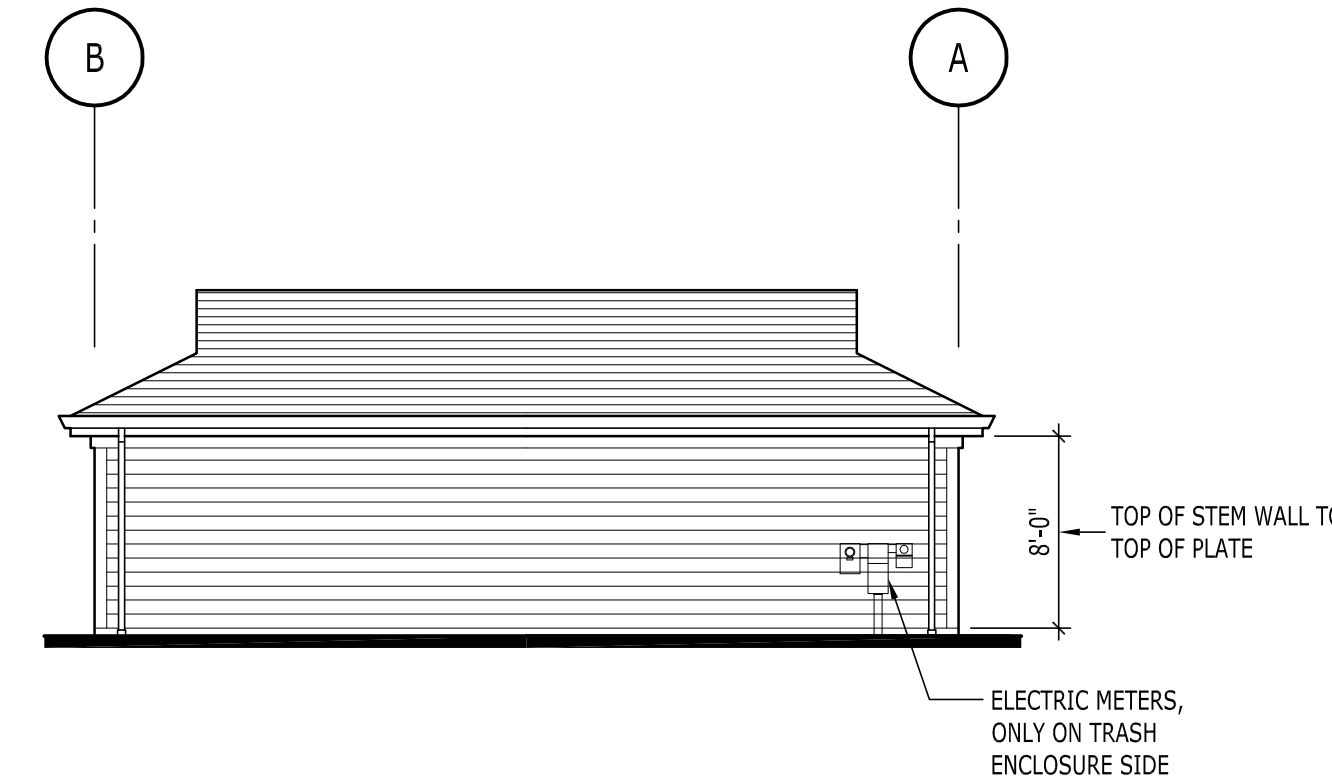
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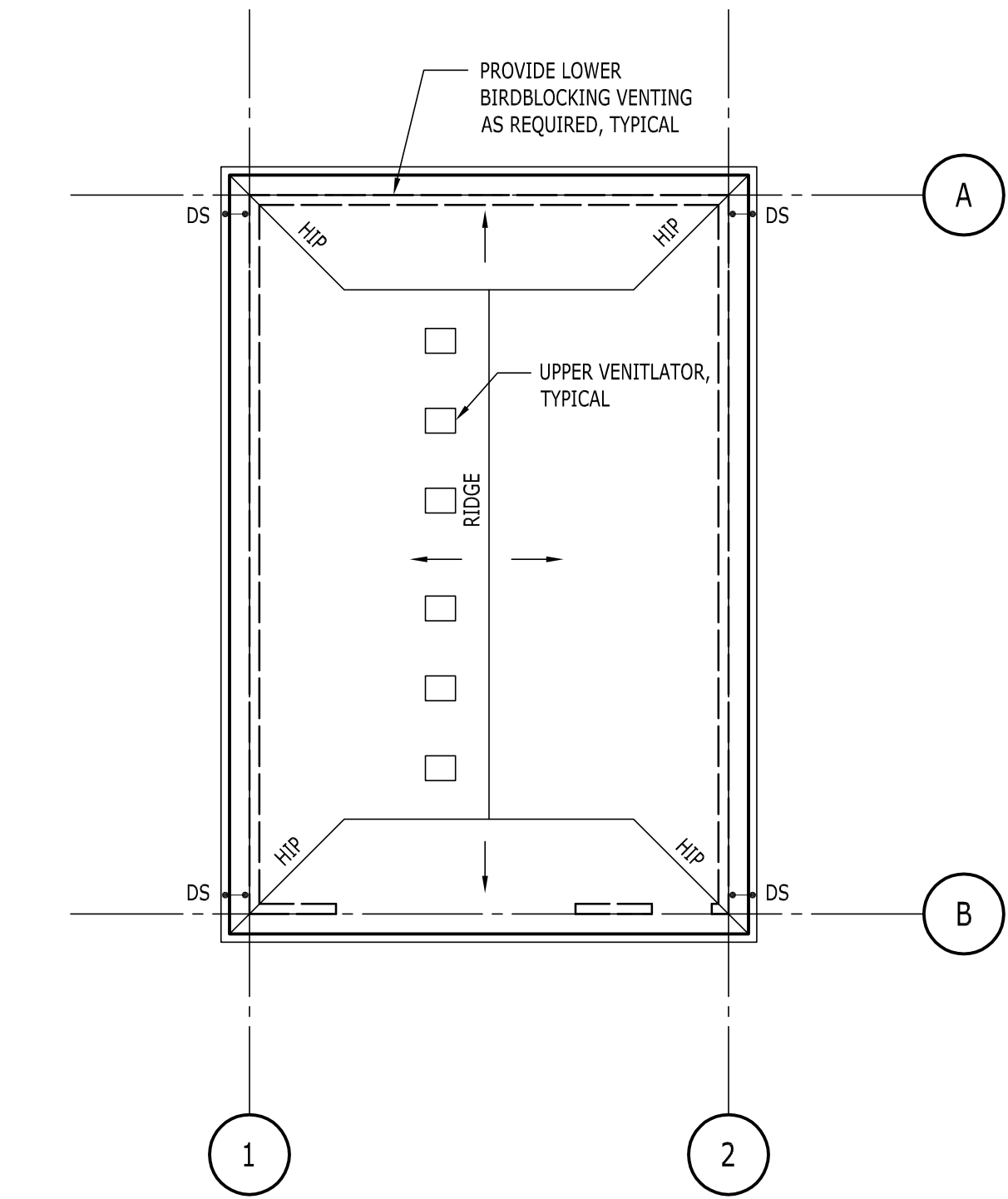
5 FRONT ELEVATION
A430 SCALE: 1/8" = 1'-0"



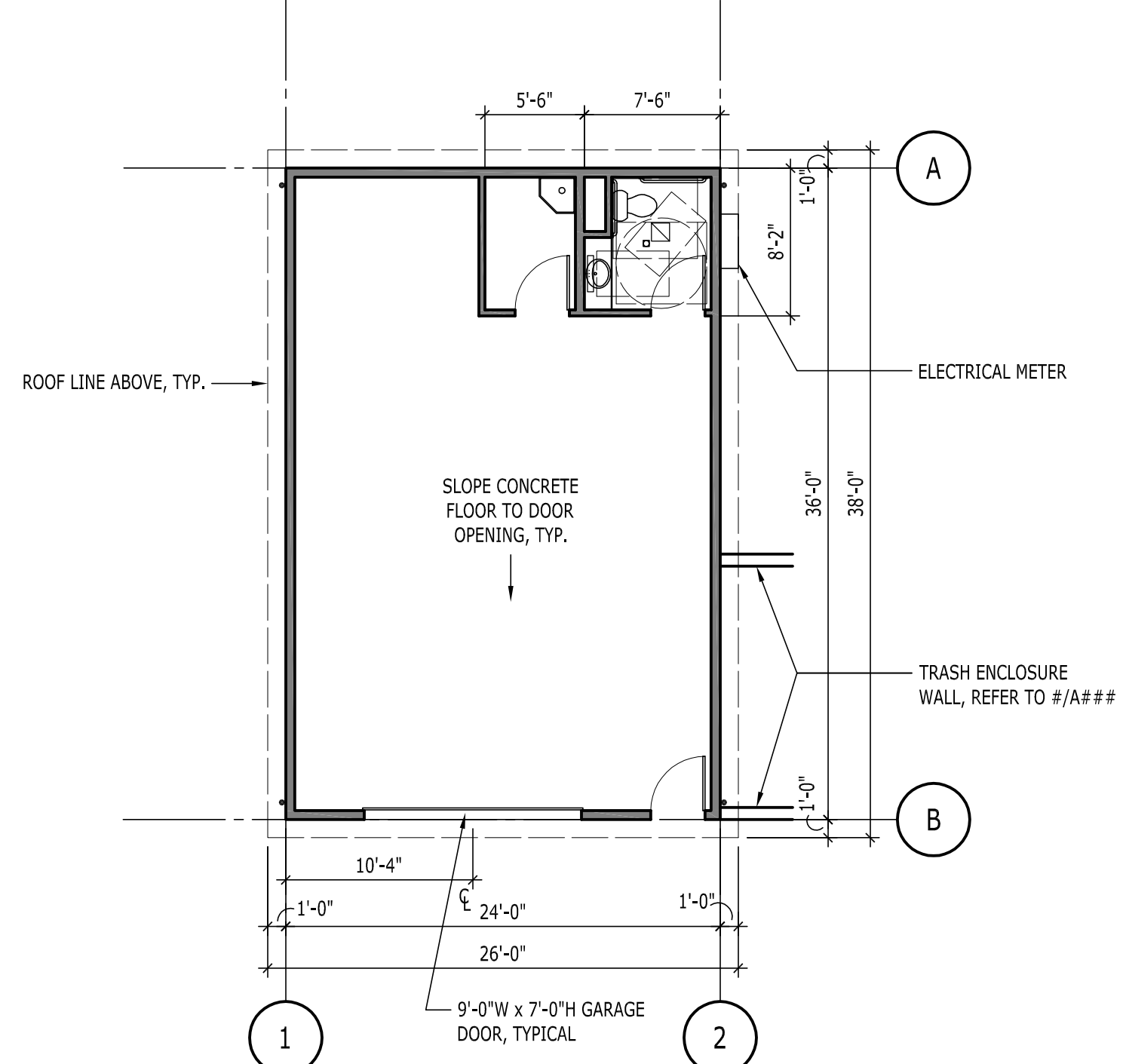
4 REAR ELEVATION
A430 SCALE: 1/8" = 1'-0"



3 SIDE ELEVATION - TYPICAL
A430 SCALE: 1/8" = 1'-0"



2 ROOF PLAN
A430 SCALE: 1/8" = 1'-0"



1 FLOOR PLAN
A430 SCALE: 1/8" = 1'-0"

ATTIC SPACE VENTILATION:

PER OSSC 1203.2 ATTIC SPACES, EXCEPTION 1.: THE NET FREE CROSS-VENTILATING AREA SHALL PERMITTED TO BE REDUCED TO 1/ 300 PROVIDED THAT NOT LESS THAN 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE....WITH THE BALANCE OF REQUIRED VENTILATION PROVIDED BY EAVE OF CORNICE VENTS.

AREA A - THE ROOF IS 864SF SO 864/ 300 = 2.88SF (x144SQ.IN. = 415SQ.IN.) OF VENTILATION IS REQUIRED.

(1) ROOF VENTILATOR PROVIDES 50 SQ.IN. OF NET FREE AREA.

(1) 3-1/2" x 21" BIRDBLOCK WITH (3) 1-1/2"Ø HOLES PROVIDES 5.25 SQ.IN.

HIGH - 72% (300/ 50 = 6 VENTS)

LOW - 28% (115/ 5.25 = 22 BIRDBLOCKS)

THIS WIDTH SHOULD BE 3"

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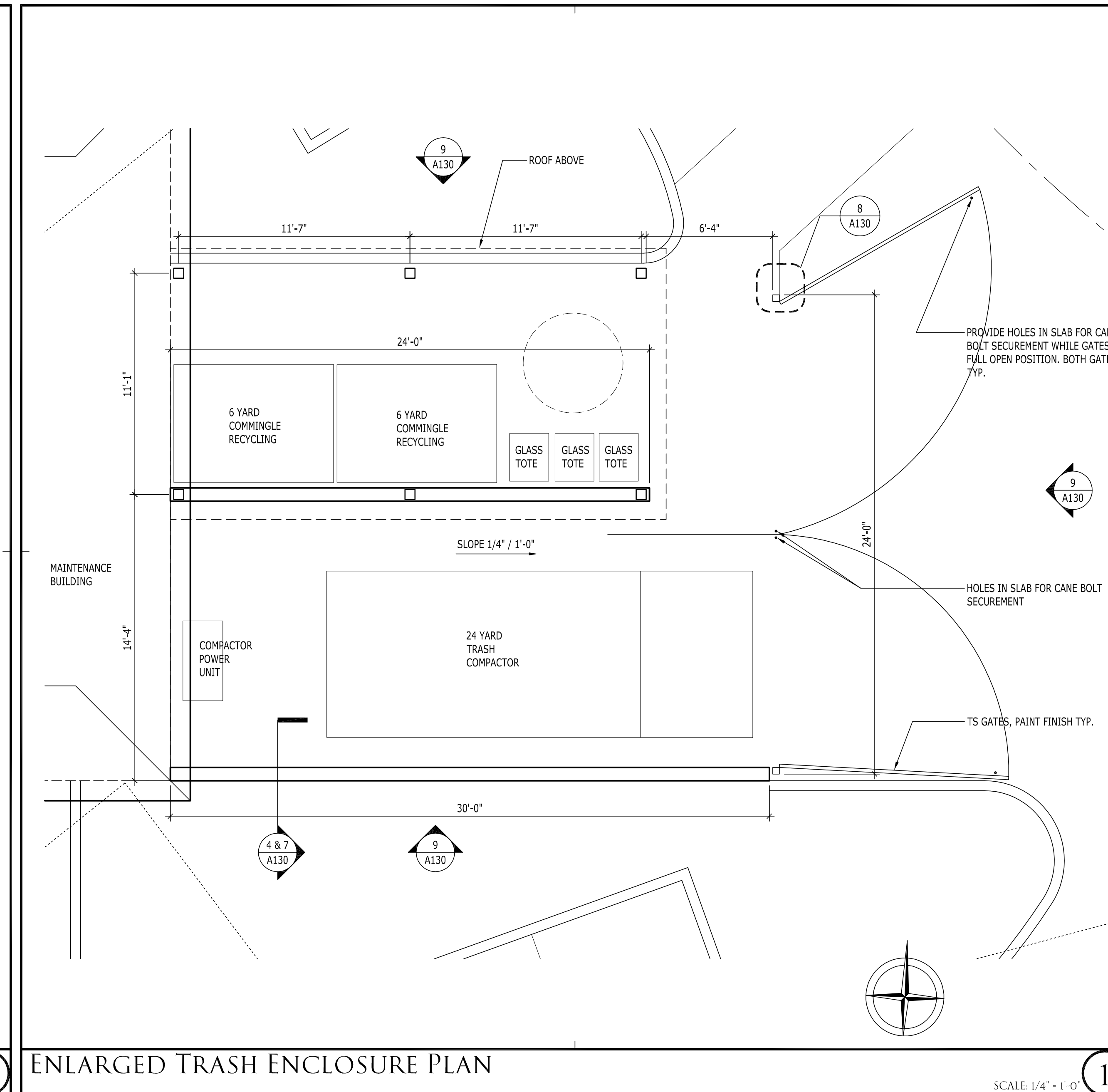
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^ TRASH ENCLOSURE
PLANS, ELEVATIONS AND
DETAILS

A440



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Park-It 2-Bike Racks



park-it 2 bike rack, inground



Parent SKU:
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**See Quantity Pricing
Below**

Small overall footprint makes this bike rack perfect for sidewalk placement.

- Material: Steel
- Finish: Powder-coated
- Tubing for Locking: 1-7/8" OD, 11-gauge steel with black onyx powder coating
- Holds up to 2 bikes

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Benefits Features Customer Reviews Product Documentation

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Model Name	2-Bike Rack (inground mount)	2-Bike Rack (surface mount)
Length	22"	25.25"
Height	36"	36"
Material	Steel	Steel

Bike Capacity	2	2
Frame Tube Diameter	1 7/8"	1 7/8"
Weight	24.0	22.0

Related



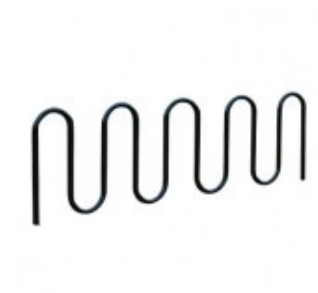
Park-It Bike Rack Surface Mount Covers (Set of Two)

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Park-It 2-Bike Racks



park-it 2 bike rack, inground



Parent SKU:
TBR-15

\$94.85
Special Price \$74.85

**See Quantity Pricing
Below**

Small overall footprint makes this bike rack perfect for sidewalk placement.

Material: Steel

Finish: Powder-coated

Tubing for Locking: 1-7/8" OD, 11-gauge steel with black onyx powder coating

Holds up to 2 bikes

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Usually Ships in 3-5 Days

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SKU	7ZT7083BK	7ZT7074BK
Model Name	2-Bike Rack (inground mount)	2-Bike Rack (surface mount)
Length	22"	25.25"
Height	36"	36"
Material	Steel	Steel

Bike Capacity	2	2
Frame Tube Diameter	1 7/8"	1 7/8"
Weight	24.0	22.0

Related



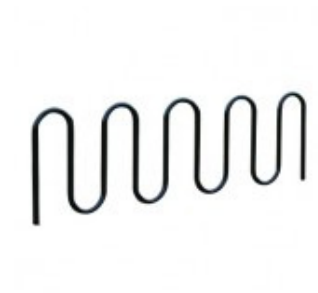
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