

# ADAPTIVE REUSE/BUILDING REHABILITATION GRANT APPLICATION

615 HIGH STREET





July 13, 2015

Eric Underwood  
City of Oregon City  
625 Center Street  
P. O. Box 3040  
Oregon City, Oregon 97045

**Re: Adaptive Reuse/Building Rehabilitation Grant Program**

Dear Mr. Underwood,

Thank you for your consideration of the building located at 615 High Street for the Adaptive Reuse/Building Rehabilitation Program. This location holds a significant place in the history of Oregon City and downtown. Originally the location of the James Chase House, this site has served as a beacon on the cliffside for over a century. James Chase served on the city council for many years, and in 1914, Mrs. Chase fought, to no avail, against the location of the municipal elevator in front of her home on the bluff. After several owners, years of neglect and changes of use within the James Chase House, it was demolished in the 1960's, which was a very controversial decision at the time.

In 1965 Security Pacific Bank constructed a new and innovative building on the site. Rather than building upward, this low one story building, sunken below High Street, maximizes the site with a simple entry pavilion and roof top parking. This unassuming gesture gave the vista of the Willamette River, downtown street scape and trees along the hills of West Linn back to the pedestrians along High Street. The entry pavilion is slightly more than a glass box using the ornamentation for the mullions to give texture to the façade. Clear glass allows the building to disappear to a large degree. One can see through the building entry pavilion from High Street or from downtown below. The original Architect (name unknown) designed a generous public amenity by providing a public plaza off the main level opening to the municipal elevator. As an elegant gesture, the site welcomes citizens as they emerge from the elevator lobby.

This building is the backdrop to the municipal elevator and one of the first views when entering the city from the Oregon City/West Linn Arch Bridge.

The facility is listed in the city's Historic Resource Inventory as a "Modern Commercial" structure. The proposed alterations are simple and in keeping with the style of the exterior renovations. Years of deferred

maintenance has left the building in an uninhabitable state for any use. All interior finishes as well as mechanical, electrical and plumbing systems must be replaced. The building will be stripped down to its concrete structure to resolve several issues with water intrusion and organic growth. The entirety of the building will undergo a significant renovation to make it habitable once again.

Approximately 40%-45% of the building will undergo significant renovations suitable for immediate occupancy. The owner intends to occupy approximately 30% of the building. Another 10%-15% of the building will undergo alterations to circulation and common use. These will include restrooms, trash room and mechanical/electrical rooms, common hallways and lobbies. This shall include the interior of the iconic entry pavilion, lobby and stairs visible from the Oregon City/ West Linn Bridge. A new soffit and lighting matching the exterior shall extend into the interior and down the vertical wall plane on the north face of the stair corridor. The stair corridor fails to conform to basic Fire and Life Safety guidelines. The stairwell shall be equipped with a new handrail and stainless steel cables stretching from the ceiling to the floor serving as fall protection as well as a visually porous and artistic expression. From the bridge and Main Street during the day the cables will be unseen. Lighting during the evening shall illuminate the cables, expressing a bold design element. From the interior and the promenade, the cables shall be visible at all times.

Conceptual renderings of the office space are included with current photos to give an idea of the extent of the improvements. The concrete structure shall be sand blasted, then remain exposed where possible, to draw out the natural beauty of the creative office space which is in high demand in today's market. The bank's original vault shall be converted into a conference room. The 11'-6" tall ceilings shall remain exposed where not insulated.

The remaining half of the building shall be improved to a shell condition so that a tenant may come in and improve the space as best suits their needs. The mechanical and electrical and portions of plumbing systems shall be upgraded to accommodate a diverse range of tenants, including, business or professional office, coffee shop, restaurant, barber shop, ambulatory healthcare, laboratories for testing and research, etc. The owner is currently in discussions with a high scale restaurant though no agreement is currently in place.

Given that restaurants have a high trip count, the transportation SDC can be cost prohibitive to small business owners. This site is unique in that the original use was a bank branch which carries a very high trip count. Unlike many other adaptive reuse projects with a standard office, retail or commercial use, transportation SDC should not be cost prohibitive in this location.

The short term vision for this property is to acquire a diverse grouping of tenants and establish a record of solvency. Within the next five years the vision for this property is to build over the existing parking surface with an additional two floors of leasable space. This space shall boast some of the most alluring vistas in the city. The end use of the uppers floors will be entirely dependent on market conditions at that time. The preliminary plans are in the Schematic Design Phase and have explored residential uses to maximize shared parking on site.

Apart from the building's allowed occupancy by code, an Architect typically assigns an area per employee in the Programming Phase of the design to determine the amount of space required for a business. The inverse of this formula can be used to approximate the number of employees an existing space may accommodate.

Typical office uses assume 200-250 square feet per employee with an efficiency ratio of 80%. This building is approximately 6,300 square feet.  $6,500 \text{ sf} \times .8 / 250\text{sf/employee} = 21$  employees. One could conservatively estimate this building, when fully leased, will accommodate upwards of 21 new employees.

This building currently sits vacant and, in its current capacity, not suitable for habitation. Time and neglect has taken its toll on this structure; much as it did with the James Chase House. Improvements are required to reinvigorate and bring economic viability to the building. These improvements, along with exterior improvements, are expected to bring significant value. The target rent would be \$18/NNN and based on 6,500 square feet and a market cap rate of 7% that would increase the value to \$1,671,428.57. This is a significant rise from its current assessed/ market value of 280,000.00.

We hope you will find this opportunity as compelling as the project team does and partner with us in the renewing of this Oregon City landmark.

Sincerely,



Derek Metson, AIA, NCARB

Principal





# Adaptive Reuse/Building Rehabilitation Program

## URBAN RENEWAL COMMISSION

City of Oregon City  
625 Center Street  
P.O. Box 3040  
Oregon City, Oregon 97045  
Phone 503.657.0891  
Fax 503.657.7892  
www.orcity.org

### APPLICANT INFORMATION

APPLICANT NAME: Ben James	APPLICANT E-MAIL: ben.james@lpl.com
APPLICANT ADDRESS: 1209 7th St. Oregon City, OR 97045	APPLICANT PHONE: 503.607.0809
NAME of PROPERTY OWNER (if different):	
PROPERTY OWNER'S MAILING ADDRESS:	PROPERTY OWNER'S PHONE:
PROPERTY OWNER'S CITY, STATE, ZIP:	PROPERTY OWNER'S FAX:

### SITE INFORMATION

SITE ADDRESS: 615 High Street,	BUILDING TAX LOT & MAP NUMBER (if known): 22e31ab00200
CITY, STATE, ZIP: Oregon City, Oregon 97045	OWNER OCCUPIED OR LEASED? 30% owner occupied 70% leasable
EXISTING SQUARE FEET 6,500 sf	TENANT NAME(S): Ben James Investment planing
CURRENT USE OF BUILDING: None	
Is the building on the local historic register or within historic overlay district? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO This building is in a historic district but not a historic building	
If yes, has the building plan been reviewed and approved by the Historic Review Committee? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Not req.	

### GRANT REQUEST INFORMATION AND SCHEDULE

GRANT REQUEST AMOUNT: \$ \$150,000
PRIVATE TO PUBLIC MATCH AS RATIO: <u>1 / 2</u>
AMOUNT AND SOURCE OF PRIVATE MATCHING FUNDS (i.e., savings account, line of credit, etc.): Personal Savings and investments
AMOUNT & SOURCE OF ADDITIONAL GRANTS OR FUNDING (should not include private match): \$40,000 for the exterior renovation has been awarded.
TOTAL SOURCES OF FUNDING (excluding grant request): \$ _____



AUTHORIZATION FOR CREDIT CHECK ☒ YES ☐ NO

SIGNATURE: 

ANTICIPATED START DATE OF CONSTRUCTION:

August

ANTICIPATED FINISH DATE OF CONSTRUCTION:

### ARCHITECT INFORMATION

NAME:

Greenbox Architecture, LLC. Derek Metson, AIA

E-MAIL:

derekm@greenboxpdx.com

MAILING ADDRESS:

1300 John Adams Street

PHONE:

503-380-7114

CITY, STATE, ZIP:

Oregon City, OR 97045

FAX:

ARCHITECT CERTIFICATION NUMBER (applicant's architect fees are eligible as a grant expense if architect is Oregon certified): Oregon Architects registration number 5892 Architecture firms registration 1043-AF

### PROJECT SUMMARY

**IN THE SPACE BELOW PROVIDE A BRIEF DESCRIPTION OF PROPOSED PROJECT (up to 300 words).**

Approximately 40%-45% of the building will undergo significant renovations suitable for immediate occupancy. The owner intends to occupy approximately 30% of the building. Another 10%-15% of the building will undergo alterations to circulation and common use. These will include restrooms, trash room and mechanical/ electrical rooms, common hallways and lobbies. This shall include the interior of the iconic entry pavilion, lobby and stairs visible from the Oregon City/ West Linn Bridge. The remainder of the building shall be finished to a warm shell suitable for tenant improvements.



**A COMPREHENSIVE PROJECT PROPOSAL MUST ACCOMPANY THIS APPLICATION AND INCLUDE THE FOLLOWING. THESE DETAILS WILL HELP URBAN RENEWAL COMMISSIONERS BETTER UNDERSTAND THE PROPOSED PROJECT. PLEASE USE THIS LIST AS A CHECKLIST OF ALL ITEMS THAT MUST BE PART OF YOUR APPLICATION PACKAGE.**

- ☐ COMPLETED APPLICATION
- ☐ DETAILED WRITTEN DESCRIPTION OF THE SCOPE OF THE PROJECT
- ☐ PROJECT COSTS/BUDGET (INCLUDING CONSTRUCTION EXPENSES, FEES, PERMITS, DESIGN COSTS)
- ☐ PHOTOS OF EXISTING USE AND SITE
- ☐ OFFICIAL ARCHITECTURAL AND ENGINEERING RENDERINGS/DRAWINGS FROM A LICENSED ARCHITECT IN 11 17" FORMAT
- ☐ A MATERIALS SPEC BOARD OR DETAILED DESCRIPTION OF MATERIALS
- ☐ DOCUMENTATION OF OWNERSHIP (INCLUDING, BUT NOT LIMITED TO DEED OF TRUST) OR WRITTEN AUTHORIZATION FROM PROPERTY OWNER
- ☐ ORGANIZATIONAL PAPERS, IF NOT A SINGLE OWNER
- ☐ DOCUMENTATION SHOWING PROJECT FUNDING AND ANY GRANTS RECEIVED (INCLUDING, BUT NOT LIMITED TO BANK STATEMENTS OR LETTERS)
- ☐ FINANCIAL PRO-FORMA DOCUMENTING THE LOAN-TO-VALUE RATIO AND OTHER ECONOMIC DETERMINANTS, IF A LOAN IS OBTAINED.
- ☐ COMPETITIVE BIDS FROM THREE LICENSED AND BONDED TRADES/PROFESSIONALS
- ☐ CONSTRUCTION SCHEDULE
- ☐ LAND USE APPROVAL, IF NEEDED (SEE STATEMENT FORM IN THIS PACKET)
- ☐ HISTORIC REVIEW BOARD APPROVAL, IF NEEDED (SEE STATEMENT FORM IN THIS PACKET)
- ☐ COPIES OF CURRENT OREGON CITY BUSINESS LICENSE
- ☐ SUBMIT FIVE (5) COPIES OF APPLICATION AND SUPPORTING DOCUMENTS
- ☐ CERTIFICATE OF INSURANCE (THIS WILL BE REQUIRED UPON AWARDING OF A GRANT, IDENTIFYING THE URBAN RENEWAL COMMISSION AS ADDITIONALLY INSURED)


The applicant understands that the proposed improvements must be reviewed and approved by the Oregon City Urban Renewal Commission, or designee. Certain changes or modifications may be required by the Urban Renewal Commission prior to final approval.

The applicant understands that a grant information sign listing the Urban Renewal Commission Public Contribution must be posted five (5) days prior to, during, and five (5) days post construction.

### **CERTIFICATION OF APPLICANT**

The applicant certifies that all information in this application and all information furnished in support of this application is given for the purpose of obtaining a matching grant and is true and complete to the best of the applicant's knowledge and belief.

If the applicant is not the owner of the property to be rehabilitated, or if the applicant is an organization rather than an individual, the applicant certifies that he/she has the authority to sign and enter into an agreement to perform the rehabilitation work on the property. Evidence of this authority is attached.

<b>APPLICANT'S SIGNATURE:</b> 	<b>CO-APPLICANT'S SIGNATURE (if applicable)</b>
<b>DATE:</b> 7/13/2015	<b>DATE:</b>



July 15, 2015

Eric Underwood  
City of Oregon City  
625 Center Street  
P. O. Box 3040  
Oregon City, Oregon 97045

**Re:    Storefront Improvement Grant Program - Project costs/budget**

Dear Mr. Underwood,

The following is a revised accounting of the project budget. Additional information and a break out of specific construction expenses can be found in the construction cost estimates.

Construction Cost:	\$372,200
Roof and parking area:	\$59,000
Hazardous material abatement:	\$38,000
Permits and Fees:	\$6,000
Design Fees:	\$28,000
Loan fees:	\$15,000
<u>Contingency 5%:</u>	<u>\$25,900</u>
<b>Total:</b>	<b>\$543,900</b>

If you have any further questions please contact our office at any time.

Sincerely,



Derek Metson, AIA, NCARB  
Principal



JHC COMPANIES  
JHC COMMERCIAL, LLC  
CCB #158061  
503-624-7100  
www.jhc-companies.com

DATE: 7/14/2015  
JOB NAME: High St Interior  
EST. NUMBER: C15-111  
SIZE: 6300  
UNITS:

7/14/2015 4:14 PM  
Allowance Page 1 of 2

CODE	ITEM	QUANTITY	UNIT COST	TOTAL	COMMENTS
<b>GENERAL CONDITIONS</b>					
007890	FEES & PERMITS	1		\$0	By Owner
013101	PROJECT MANAGER	1	4,400.00	\$4,400	
013103	LABOR SUPERINTENDENT	8	2,200.00	\$17,600	
013301	SHOP DRAWINGS	1	140.00	\$140	
013301	SUBMITTALS, SAMPLES	1	200.00	\$200	
014001	SAFETY REQUIREMENTS	1	300.00	\$300	
014501	TESTING & INSPECTION SERVICES	1		\$0	By Owner
014503	LABOR PUNCH LIST	10	45.00	\$450	
014504	PUNCH LIST MATERIALS	1	150.00	\$150	
015104	TEMPORARY LIGHTING	1	250.00	\$250	
015107	DIGITAL COMMUNICATIONS	1	360.00	\$360	
015109	TEMPORARY WATER	1	225.00	\$225	
015202	TEMPORARY SANITARY FACILITIES	1	400.00	\$400	
015406	EQUIPMENT RENTAL	1	800.00	\$800	
015408	JOB SITE SUPPLIES/CONSUMABLES	1	240.00	\$240	
015801	PROJECT ID & SIGNS	1	140.00	\$140	
017401	LABOR CLEAN UP	8	140.00	\$1,120	
017403	DROP BOX / DUMP FEES	1	500.00	\$500	
017407	FINAL CLEANING	6,290	0.25	\$1,573	
<b>TOTAL GENERAL CONDITIONS</b>				<b>\$28,848</b>	
<b>SITE WORK &amp; DEMOLITION</b>					
021101	HAZARDOUS MAT. ABATEMENT	1		\$0	By Owner
022202	SELECTIVE DEMOLITION	1	21,350.00	\$21,350	Mold Remediation/Fungicide
022205	SAWCUTTING	1	1,500.00	\$1,500	
025133	SAND BLASTING	1	6,000.00	\$6,000	
<b>TOTAL SITE WORK &amp; DEMOLITION</b>				<b>\$28,850</b>	
<b>CONCRETE</b>					
033100	CAST-IN-PLACE CONCRETE	1	1,250.00	\$1,250	
033543	POLISHED CONCRETE FINISHING	1	26,500.00	\$26,500	
033910	SLAB SEALER	1		\$0	Included in 033543
<b>TOTAL CONCRETE</b>				<b>\$27,750</b>	
<b>MASONRY</b>					
<b>TOTAL MASONRY</b>				<b>\$0</b>	
<b>STRUCTURAL STEEL</b>					
055100	METAL FABRICATIONS	1	4,950.00	\$4,950	
057200	METAL RAILINGS	1		\$0	Included in 055100
<b>TOTAL STRUCTURAL STEEL</b>				<b>\$4,950</b>	
<b>CARPENTRY</b>					
062001	FINISH CARPENTRY / INTERIOR	1	10,000.00	\$10,000	Wood Accent Walls Allowance
064100	CABINETS / CASEWORK	1	16,450.00	\$16,450	3 Laminate Tops, Corian in Restrooms,
064150	COUNTERTOPS	1	1,000.00	\$1,000	Granite Tile Allowance
<b>TOTAL CARPENTRY</b>				<b>\$27,450</b>	
<b>THERMAL &amp; MOISTURE PROTECTION</b>					
072100	BUILDING INSULATION	1	15,500.00	\$15,500	R-38 Batts at Ceiling w/ Black VB
<b>TOTAL THERMAL &amp; MOISTURE PROTECTION</b>				<b>\$15,500</b>	
<b>DOORS &amp; WINDOWS</b>					
081000	LABOR DOORS & HARDWARE	13	175.00	\$2,275	
081100	STEEL DOORS & FRAMES	1	15,950.00	\$15,950	
082100	WOOD DOORS	1		\$0	Included in 081100
084100	ENTRANCE & STOREFRONTS	1	3,850.00	\$3,850	3 Panel Sliding Door at Conference Room
087100	DOOR HARDWARE	1		\$0	Included in 081100
088100	INTERIOR GLAZING	1		\$0	Included in 081100
<b>TOTAL DOORS &amp; WINDOWS</b>				<b>\$22,075</b>	
<b>FINISHES</b>					
091102	STEEL STUD FRAMING	1	11,500.00	\$11,500	
092500	DRYWALL	1	15,500.00	\$15,500	
095100	SUSPENDED ACOUST. CEILINGS	1	950.00	\$950	
096119	CONCRETE STAINING	1		\$0	Included 033543
096400	WOOD FLOORING	1	6,850.00	\$6,850	
096513	RESILIENT BASE	1	450.00	\$450	
099101	PAINTING INTERIOR	1	3,500.00	\$3,500	Excludes Wood Accent Walls
<b>TOTAL FINISHES</b>				<b>\$38,750</b>	
<b>SPECIALTIES</b>					
101601	TOILET PARTITIONS	2	350.00	\$700	
108000	TOILET & BATH ACCESSORIES	2	375.00	\$750	
108001	LABOR SPECIALTIES	1	1,000.00	\$1,000	
<b>TOTAL SPECIALTIES</b>				<b>\$2,450</b>	





JHC COMPANIES  
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[www.jhc-companies.com](http://www.jhc-companies.com)

DATE: 7/14/2015  
JOB NAME: High St Interior  
EST. NUMBER: C15-111  
SIZE: 6300  
UNITS:

Allowance  
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CODE	ITEM	QUANTITY	UNIT COST	TOTAL	COMMENTS
<b>EQUIPMENT</b>					
114500	APPLIANCES	1	1,350.00	\$1,350	Refrigerator/Dishwasher Allowance
TOTAL EQUIPMENT				\$1,350	
<b>MECHANICAL</b>					
154000	PLUMBING	1	15,000.00	\$15,000	
157000	HVAC	1	28,500.00	\$28,500	Replace (2) 4-Ton HP Systems
TOTAL MECHANICAL				\$43,500	
<b>ELECTRICAL</b>					
161000	ELECTRICAL	1	43,800.00	\$43,800	Replace Branch Panels and Feeders
165100	INTERIOR LIGHTING	1	8,200.00	\$8,200	Allowance
TOTAL ELECTRICAL				\$52,000	
TOTAL ESTIMATED COSTS				\$293,473	
OVERHEAD			7.00%	\$20,543	
PROFIT			3.00%	\$9,420	
LIABILITY INSURANCE			1.50%	\$4,852	
TOTAL				\$328,288	



# Proposal

Client: Derek Metson  
 Date: 7/10/2015  
 Job Name: High Street Exteriors  
 Job Address: 615 High St Oregon City, Oregon 97045

**Scope:** Grow Construction will provide the labor and materials necessary to complete the scope below to code and in a workmanlike manner.

## Exterior renovations

Description			Cost	Rolled up Cost
<b>Demo</b>				<b>\$15,581.24</b>
Railing Demo	110	LF	\$2,894.46	
Demo Storefront	1047	SF	\$4,305.52	
Door Removal	3	EA	\$641.77	
Concrete Wall Demo	60	SF	\$1,053.59	
Light post removal	7	EA	\$1,409.41	
Remove Soffit material	220	SF	\$992.12	
Strip paint	1	LS	\$1,281.57	
Clean area drain	1	EA	\$341.77	
Repair concrete slab	1	LS	\$1,789.56	
Relocate wheel stops	12	EA	\$871.47	
<b>Electrical</b>				<b>\$13,878.95</b>
Dead off electrical	1	LS	\$1,068.21	
Rope Lighting	220	LF	\$3,001.01	
Bega LED lights	2	EA	\$3,151.12	
Trugroove Linear Light	9	EA	\$5,488.81	
Lithonia D Series O	1	EA	\$1,169.80	
<b>Landscaping</b>				<b>\$6,111.77</b>
Cut to grade	1	LS	\$854.85	
Demo	1	LS	\$1,329.83	
Planting	1	LS	\$1,774.32	
New foundation Drain	1	LS	\$2,152.78	

## GROW CONSTRUCTION LLC

7900 SW Hunziker Street Tigard, OR 97223 503-740-7340 Fax 503-278-5341 CCB # 191492





<b>Painting</b>				<b>\$9,399.78</b>
Paint Exterior of Building	1216	SF	\$3,256.53	
Paint Guardrail Posts	38	EA	\$1,342.14	
Paint structural Column	3	EA	\$736.98	
Paint Planter bed	120	SF	\$496.57	
Stain on Guardrail	900	SF	\$3,075.94	
paint existing sign	1	LS	\$491.62	
<b>Woods</b>				<b>\$14,271.05</b>
Install Soffit	220	SF	\$2,113.28	
Install cedar railing & Facade	871	SF	\$8,954.58	
Install 4x4 PT posts	1	EA	\$1,077.09	
Wood screen at HVAC area	80	SF	\$1,507.49	
Cedar Bench	1	EA	\$618.62	
<b>Glazing</b>				<b>\$70,253.70</b>
New storefront system and Doors	1047	SF	\$70,253.70	

**Total Cost for above Exteriors scope: \$ 129,496.49**

#### **Interior Renovations**

<b>Description</b>	<b>Quantity</b>	<b>Units</b>	<b>Cost</b>
Interior Renovations scope			
Demo	1	LS	\$10,660.10
Mold remediation	1	LS	\$7,993.34
Landscaping			
Plantings	1	LS	\$15,303.50
Pressure wash courtyard	1	LS	\$492.88
Parking Stripping	300	LF	\$719.94

#### **GROW CONSTRUCTION LLC**

7900 SW Hunziker Street Tigard, OR 97223 503-740-7340 Fax 503-278-5341 CCB # 191492



Powerwash Exterior Stairs	1	LS	\$629.20
Framing and sheetrock	500	LF	\$53,805.22
Insulation	6000	SF	\$9,271.18
Painting	12000	SF	\$14,349.10
Interior doors	15	EA	\$14,041.67
Interior windows	3	EA	\$3,671.13
Interior window walls	224	SF	\$20,231.31
Acoustical Ceiling	48	SF	\$701.20
1x4 T&G Soffit	120	SF	\$1,472.54
Rigid Insulation	6000	SF	\$13,497.10
Sand Blasting	1300	SF	\$5,556.46
Wood accent wall	1065	SF	\$9,094.39
Tension cable railing	30	LF	\$3,674.96
Concrete finish on floor	6030	SF	\$14,815.57
Electrical	1	LS	\$49,701.58
HVAC	1	LS	\$63,901.58
Plumbing	1	LS	\$39,761.58
Saw cuts	80	LF	\$683.02
Bathroom accessories			
Grab bars	4	EA	\$899.43
Toilet paper holders	3	EA	\$290.11
Soap dispensers	2	EA	\$240.26
Toilet Partitions	25	LF	\$2,964.25
Mirrors	2	EA	\$1,339.34
Excavation for Plumbing	6	CY	\$1,199.33
Concrete trench pour backs	40	LF	\$2,043.38
Counter top	35	LF	\$3,596.15
Cabinets	6	EA	\$2,890.55
Rubber Base	1000	LF	\$2,747.70
<b>Total Interior Cost</b>			<b>\$372,239.03</b>

**Total Project cost: \$ 501,735.52**

This is based on preliminary Construction drawings. Includes all MEP permits. Building permit not included.

Thank you for the chance to help with your project.

**Pricing is guaranteed for 30 days. Subject to change based on material prices**

**Owner:**

**Dated:**

**GROW CONSTRUCTION LLC**

7900 SW Hunziker Street Tigard, OR 97223 503-740-7340 Fax 503-278-5341 CCB # 191492





July 13, 2015

## 615 HIGH STREET

Oregon City, Oregon

6290

	INTERIOR	EXTERIOR
PROJECT ADMINISTRATION	\$ 25,371	\$ 8,914
DUMPSTER	\$ 1,200	\$ 1,800
FINAL CLEANING	\$ 2,202	\$ 1,200
TEMPORARY FENCING		\$ 880
REMEDIATION	\$ 25,130	\$ -
EROSION CONTROL PLAN		\$ 800
DEMOLITION	\$ 42,225	\$ 14,346
EARTHWORK	\$ 1,000	\$ -
STRIPING	\$ 1,200	
LANDSCAPING ALLOWANCE	\$ 3,500	
CONCRETE	\$ 3,040	\$ -
STRUCTURAL		\$ 5,425
HANDRAIL & CABLE SYSTEMS	\$ 11,900	\$ 11,565
CARPENTRY	\$ 15,920	\$ -
COUNTER TOP	\$ 3,740	\$ -
CABINETS	\$ 11,000	\$ -
FRP	\$ -	\$ -
CAULKING	\$ 1,585	\$ -
DOORS & FRAMES	\$ 21,572	
SPECIALTIES	\$ 1,650	
STOREFRONT		\$ 62,193
INSULATION	\$ 31,450	\$ -
DRYWALL & FRAMING	\$ 30,896	
PAINTING	\$ 1,280	\$ 1,280

CONCRETE SEALING	\$ 21,583	
TOILET ACCESSORIES	\$ 5,610	
FIRE EXTINGUISHERS	\$ -	\$ -
PLUMBING	\$ 26,479	\$ 2,500
HVAC	\$ 9,460	\$ -
ELECTRICAL	\$ 30,725	\$ 11,050

<b>SUB TOTAL</b>	\$ 333,218	\$ 125,453
<b>GENERAL CONDITIONS</b>	\$ 17,900	\$ 5,370
<b>CONTRACTORS FEE</b>	\$ 35,112	\$ 13,082
<b>GENERAL LIABILITY</b>	\$ 5,793	\$ 2,159

<b>TOTAL</b>	<b>\$ 392,023.30</b>	<b>\$ 146,064.32</b>
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# Ben and Marki

8-Jul-2015	BenJames Investment Planning		
<b>Total Assets</b>	<b>\$</b>	<b>4,607,620.53</b>	
<b>Total Liabilities</b>	<b>\$</b>	<b>1,557,951.00</b>	<b>Net worth \$ 3,049,669.53</b>

Date	8-Jul-2015
------	------------

Assets		
Asset	Value	%
<b>Liquid Assets</b>		
<b>Bank Accounts</b>		
Rivermark Checking	\$ 24,106.67	0.5%
Rivermark Savings	\$ 5.00	0.0%
Advantis Checking/Savings	\$ 200.00	0.0%
Rivermark Corporate Account	\$ 41,525.09	0.9%
LPL Account	\$ 107,524.34	2.3%
Columbia Bank	\$ 90.00	0.0%
	\$ -	
<b>Total Liquid Assets</b>	<b>\$ 173,451.10</b>	<b>3.8%</b>

Long Term Assets		
<b>Investments</b>		
Ben IRA LPL	\$ 185,172.41	4.0%
Marki ROTH IRA LPL	\$ 138,634.87	
Marki IRA LPL	\$ 92,058.14	
Ben ROTH LPL	\$ 131,985.82	2.9%
Ben SIMPLE IRA LPL	\$ 41,574.32	0.9%
Marki SIMPLE IRA LPL	\$ 24,634.87	0.5%
Cornac UTMA	\$ 6,838.00	0.1%
Collin UTMA	\$ 6,801.00	0.1%
Cameroon UTMA	\$ 6,764.00	0.1%
Ben Scudder ROTH	\$ 553.00	0.0%
Marki Scudder ROTH	\$ 553.00	0.0%
Marki Life Cash Value	\$ 32,100.00	0.7%
Ben Life Cash Value	\$ 53,280.00	1.2%
Noah Life Cash Value	\$ 3,150.00	0.1%
OGC Note	\$ 17,500.00	0.4%
Business Interest	\$ 977,000.00	21.2%
Ben LPL Stock Options	\$ 9,250.00	0.2%
Ben Deferred Comp Plan	\$ 125,320.00	2.7%
	\$ -	
<b>Total Investments</b>	<b>\$ 1,853,169.43</b>	<b>35.2%</b>

<b>Real Estate</b>		
1530 10th St	\$ 475,000.00	10.3%
615 High Street	\$ 275,000.00	
1209 7th Street	\$ 725,000.00	15.7%
71756 Northshore Drive	\$ 285,000.00	6.2%
25619 Cheryl Drive	\$ 715,000.00	15.5%
<b>Total Real Estate</b>	<b>\$ 2,475,000.00</b>	<b>47.7%</b>

<b>Family Assets</b>		
Jewelry/Art/Stamp	\$ 6,000.00	0.1%
Vehicles	\$ 60,000.00	1.3%
Furnishings/Antiques	\$ 25,000.00	0.5%
Other Family Assets (Not Listed)	\$ 15,000.00	0.3%
<b>Total Family Assets</b>	<b>\$ 106,000.00</b>	<b>2.3%</b>

<b>Total Assets</b>	<b>\$</b>	<b>4,607,620.53</b>	<b>89.0%</b>
---------------------	-----------	---------------------	--------------

Liabilities		
Liability	Value	%
<b>Short term Liability</b>		
Credit Cards	\$ -	
Columbia HELOC 35k	\$ 1.00	0.0%
<b>Total Short Term Liabilities</b>	<b>\$ 1.00</b>	<b>0.0%</b>

<b>Long Term liabilities</b>		
1530	\$ 253,500.00	16.3%
1209	\$ 279,500.00	17.9%
71756	\$ 189,500.00	12.2%
Student Loan	\$ 54,250.00	3.5%
615	\$ 245,200.00	15.7%
25619	\$ 536,000.00	34.4%
	\$ -	
<b>Total Long Term Liabilities</b>	<b>\$ 1,557,950.00</b>	<b>100.0%</b>
<b>Total Liabilities</b>	<b>\$ 1,557,951.00</b>	<b>100.0%</b>

File No. 13014795

<b>Grantor</b>
<b>US Bank National Association</b> c/o Ocwen Loan Servicing, LLC 4828 Loop Central Drive Houston, TX, 77061
<b>Grantee</b>
Ben James Marki James 615 High Street Oregon City, OR 97045
<b>After recording return to</b>
Ben James Marki James 615 High Street Oregon City, OR 97045
<b>Until requested, all tax statements shall be sent to</b>
Ben James Marki James 615 High Street Oregon City, OR 97045 Tax Acct No(s): 00571786

Clackamas County Official Records  
Sherry Hall, County Clerk

**2014-034959**

07/18/2014 01:53:05 PM

D-D Cnt=1 Stn=8 CINDY  
\$20.00 \$16.00 \$10.00 \$20.00 \$22.00

**\$88.00**

Reserved for Recorder's Use

### STATUTORY SPECIAL WARRANTY DEED

US Bank National Association, as Trustee of the Lehman Brothers Small Balance Commercial Mortgage Pass-Through Certificates 2007-3, Grantor, conveys and specially warrants to ~~Ben James/ and Marki James~~, Grantee, the following described real property free of encumbrances created or suffered by the Grantor except as specifically set forth herein:

\* Benjamin B. James and Marki M. James

**SEE ATTACHED EXHIBIT "A"**

This property is free of encumbrances created or suffered by the Grantor, EXCEPT: NONE

The true consideration for this conveyance is **\$280,000.00**. (Here comply with requirements of ORS 93.030.)

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009 AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.

WFG Title 13014795 Comm


OR Deed-Special Warranty



Executed this 30<sup>th</sup> day of June, 2014

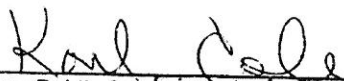
**U.S. Bank National Association, as Trustee of the Lehman Brothers Small Balance Commercial Mortgage Pass-Through Certificates 2007-3**

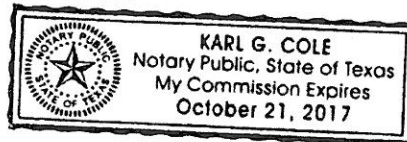
By Ocwen Loan Servicing, LLC  
Its Attorney-in-Fact

  
Name: Stacie C. Ngo  
Its Manager, Commercial Loan Servicing  
Ocwen Loan Servicing LLC Attorney In Fact

State of Texas, County of Harris ) ss.

This instrument was acknowledged before me on this 30<sup>th</sup> day of June, 2014 by, Stacie C. Ngo As Manager, Commercial Servicing of Ocwen Loan Servicing, LLC, Attorney-in-Fact for US Bank National Association, as Trustee of the Lehmen Brothers Small Balance Commercial Mortgage Pass-Through Certificates 2007-3.

  
Notary Public for STATE OF TEXAS  
My commission expires: 10/21/17



**EXHIBIT "A"**

**Part of Lots 2 and 3, Block 34, Oregon City, in the City of Oregon City, County of Clackamas and State of Oregon, described as follows:**

**Beginning at a point on the Southeasterly line of said Block 34, which is North 35°30' East 88.56 feet from the most Southerly corner of said Block 34 being on the Northwesternly right-of-way line of High Street; thence North 54°27' West 108.99 feet to the Southeasterly line of a tract owned by Oregon City, a municipal corporation described in Book 189, page 276, Deed Records; thence Northeasterly along the Southeasterly line of said Oregon City Tract to the most Westerly corner of a tract described in Deed to Margaret R. Patterson recorded December 8, 1950 in Book 439, page 267, Deed Records; thence Southeasterly along the Southwesterly line of said Patterson Tract 63.21 feet to the Southeasterly line of Block 34, Oregon City; thence South 35°30' West along said Southeasterly line to the point of beginning.**

## EXHIBIT "B"

1. Easement for utilities over and across the premises formerly included within the boundaries of alleyway, now vacated, if any such exist.  
By Ordinance No. : 716
2. Easement, including the terms and provisions thereof:  
For : Sewer line and right of ingress and egress to maintain  
Granted to : O. R. Hartnell  
Recorded : June 23, 1947  
Book : 392  
Page : 225  
Affects : Within Lot 3, Block 34, exact location not stated
3. Easement for Use and Maintenance obligations of existing Light standard, as disclosed in Deeds:  
Recorded : October 7, 1981  
Recording No. : 81 34830  
Also Recorded : January 22, 1982  
Recording No. : 82 2144  
Affects : Two location appurtenant for Parking area
4. Public Utility Easement, including the terms and provisions thereof:  
For : Sanitary Sewer  
Granted to : City of Oregon City  
Recorded : April 21, 1993  
Recording No. : 93 26152  
Affects : See document for actual location



**7/1/2014 to 6/30/2015 REAL PROPERTY TAX STATEMENT**  
 CLACKAMAS COUNTY, OREGON \* 150 BEAVERCREEK RD. \* OREGON CITY, OREGON 97045

**PROPERTY DESCRIPTION**

615 HIGH ST  
 OREGON CITY OR 97045  
 JAMES BENJAMIN B  
 615 HIGH ST  
 OREGON CITY OR 97045

**MAP: 22E31AB00200**

Code Area: 062-057

**ACCOUNT NO: 00571786**

CL TAX SERVICE- COMM LOAN SERV

**2014 - 2015 CURRENT TAX BY DISTRICT:**

COM COLL CLACK 208.96  
 ESD CLACKAMAS 138.20  
 SCH OREGON CITY 1,866.40

**EDUCATION TOTAL: 2,213.56**

CITY OREGON CITY 1,658.04  
 COUNTY CLACKAMAS 903.93  
 COUNTY EXTENSION & 4-H 18.80  
 COUNTY LIBRARY 148.94  
 COUNTY PUBLIC SFTY LOC OPT 97.93  
 COUNTY SOIL CONS 18.80  
 FD 1 CLACK CO 895.29  
 PORT OF PTLD 26.30  
 SRV 2 METRO 36.17  
 SRV 2 METRO LOC OPT 37.91  
 URBAN RENEWAL COUNTY 10.79  
 URBAN RENEWAL OREGON CITY 331.33  
 VECTOR CONTROL 2.45  
 VECTOR CONTROL LOC OPT 9.87

**GENERAL GOVERNMENT TOTAL: 4,196.55**

CITY OREGON CITY BOND 42.05  
 COM COLL CLACK BOND 56.07  
 FD 1 CLACK CO BOND 21.01  
 SCH OREGON CITY BOND 546.30  
 SRV 2 METRO BOND 103.18

**EXCLUDED FROM LIMIT TOTAL: 768.61**

**2014-2015 TAX BEFORE DISCOUNT 7,178.72**

VALUES:	LAST YEAR	THIS YEAR
---------	-----------	-----------

**REAL MARKET VALUES (RMV):**

RMV LAND	98,979	106,951
RMV BLDG	342,170	370,220
RMV TOTAL	441,149	477,171

ASSESSED VALUE (AV):	383,368	394,869
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PROPERTY TAXES:	6,968.78	7,178.72
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**THIS IS NOT A TAX BILL IF...** your mortgage company is responsible  
 for paying your taxes. Keep this statement for your records.

Please Make Payment To: CLACKAMAS COUNTY TAX COLLECTOR  
 (Refer to back of statement and insert enclosed for more information)

Questions about your property value or taxes?

Please call 503-655-8671

**TAX PAYMENT OPTIONS**

**Payment**

Options	Date Due	Discount Allowed	Net Amount Due
FULL	Nov 17, 2014	215.36 3%	6,963.36
2/3	Nov 17, 2014	95.72 2%	4,690.09
1/3	Nov 17, 2014		2,392.90

**DELINQUENT TAXES:**

0.00

**TOTAL (after discount): 6,963.36**

Delinquent tax amount is included in payment options listed below.

↑ **TEAR HERE** PLEASE RETURN THIS PORTION WITH YOUR PAYMENT See back of Statement for Instructions

↑ **TEAR HERE**

**2014-2015 Property Tax Payment Clackamas County, Oregon**

**ACCOUNT NO: 00571786**

Discount is lost and interest applies after due date.

<b>FULL PAYMENT</b>	(Includes 3% Discount)	<b>DUE Nov 17, 2014</b>	<b>6,963.36</b>
<b>2/3 PAYMENT</b>	(Includes 2% Discount)	<b>DUE Nov 17, 2014</b>	<b>4,690.09</b>
<b>1/3 PAYMENT</b>	(No Discount offered)	<b>DUE Nov 17, 2014</b>	<b>2,392.90</b>

☐ Mailing address change or  
 name change on back

**Enter Amount Paid**

JAMES BENJAMIN B  
 615 HIGH ST  
 OREGON CITY OR 97045

Please make payment to:

**CLACKAMAS COUNTY TAX COLLECTOR**  
 PO BOX 6100  
 PORTLAND, OR 97228-6100

03000005717860000696336000046900900002392905



625 CENTER ST  
PO BOX 3040  
OREGON CITY, OR 97045-0304  
(503) 657-8151

**Customer: 218234**  
**Service Address: 615 HIGH ST**  
**Service Period: 2/1/2015 - 2/28/2015**  
**Due Date: 4/20/2015**  
**Amount Due: \$103.48**

Previous Read	Current Read	Consumption	Meter #
1,406	1,406	0	46431675

**ACCOUNT ACTIVITY**

	UNITS	CURRENT	AMOUNT
Previous Balance			\$103.48
Payment - Thank you			(\$103.48)
Adjustments - Credits			\$0.00
Beginning Balance			\$0.00

**CURRENT SERVICES AND NEW ACTIVITY**

	UNITS	CURRENT
Water Distribution	1.00	14.70
Stormwater Management	3.60	32.58
Pavement Maintenance	275.48	56.20

**Total Current Services and New Activity:** \$103.48  
**Amount Due:** \$103.48

SEE REVERSE FOR EXPLANATION OF SERVICES AND ADDITIONAL INFORMATION

Please detach and return bottom portion with your remittance.

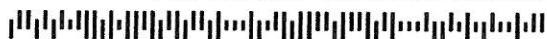
[www.oregoncity.org/billpay](http://www.oregoncity.org/billpay)



PO BOX 3040  
OREGON CITY, OR 97045-0304

Customer Number:	218234
Due Date:	4/20/2015
Amount Due:	\$103.48

1402 1 AV 0.381 3/375 01441 0001:0001



BEN JAMES  
1209 7TH ST  
OREGON CITY OR 97045-2001



OREGON CITY  
UTILITY BILLING  
PO BOX 3530  
PORTLAND OR 97208-3530

21823430010348

**2015**

**Expires 12/31/2015**

**CITY OF OREGON CITY**

Incorporated 1844

**Business Name:** BEN JAMES INVESTMENT PLANNING  
**Primary** 1209 7TH ST  
**Address:** OREGON CITY, OR 97045



**BUSINESS LICENSE**

**License # :** 5872

**Date Issued: :** 1/1/2015

**# of Employees:** 3

**Must be placed in public view**

BEN JAMES INVESTMENT PLANNING  
1209 7TH ST  
OREGON CITY, OR 97045

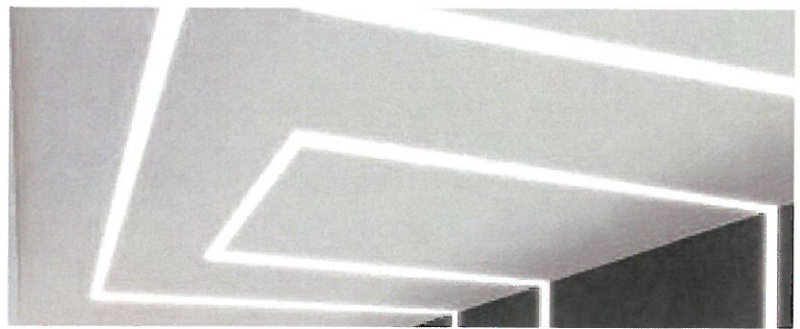




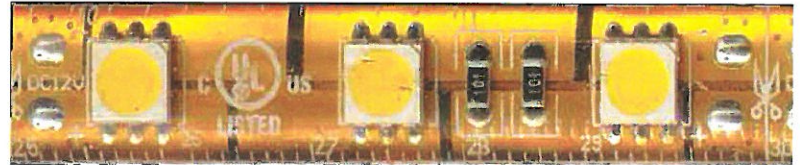
MILWORK - WHITE BIRCH, WOOD ACCENT WALLS, DOORS AND TRIM  
FINISH - CLEAR FINISH



FLOOR - STAINED CONCRETE  
FINISH - WHITE  
ALTERNATES: BLACK IN SOME LOCATIONS



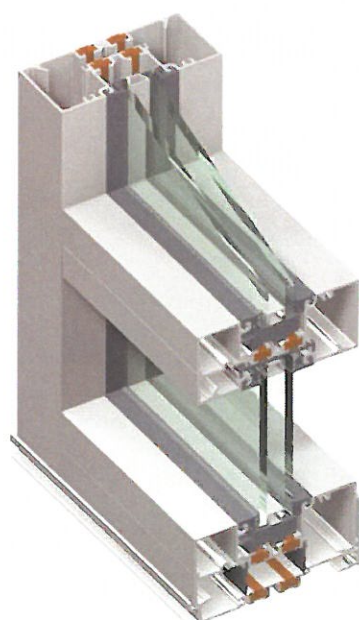
RECESSED LIGHTING AT SOFFIT



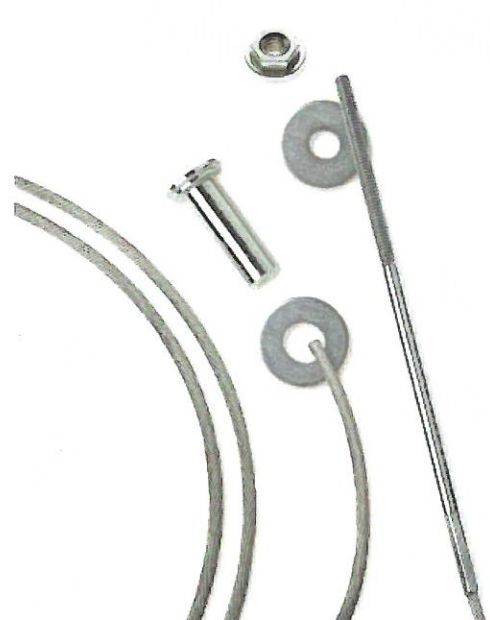
LED ROPE LIGHT AT GUARDRAIL



SAND BLASTED CONCRETE  
AT ALL EXPOSED SURFACES

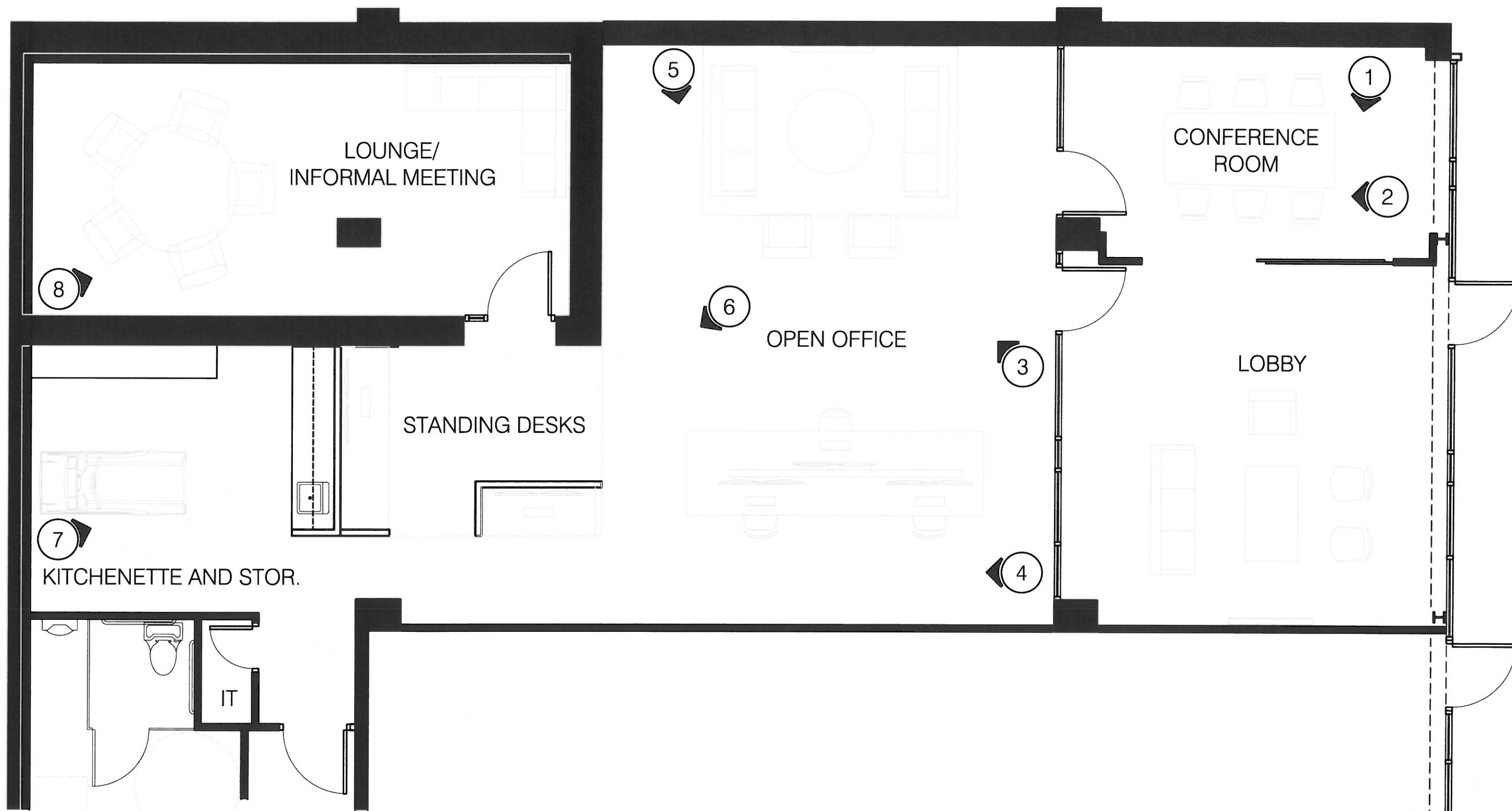


STOREFRONT WINDOW  
KAWNEER ANODIZED  
ALUMINUM



VERTICAL GUARDRAIL TREATMENT  
STAINLESS STEEL CABLE





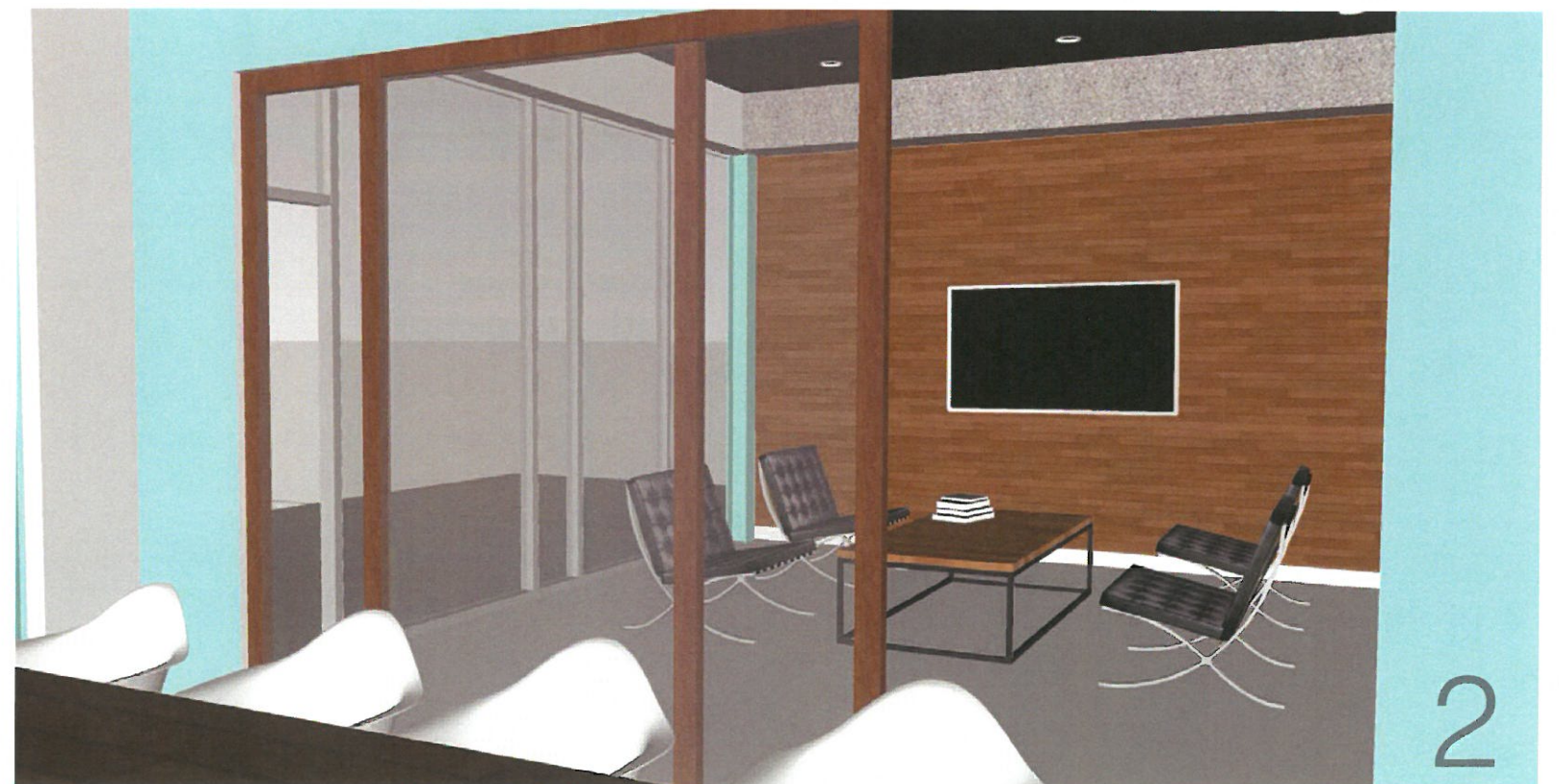
## KEY PLAN - INTERIOR IMAGES OF SUITE 1

PROJECT NUMBER: 2940-15





1



2

## SUITE 1 - BEFORE AND AFTER IMAGES

PROJECT NUMBER: 2940-15

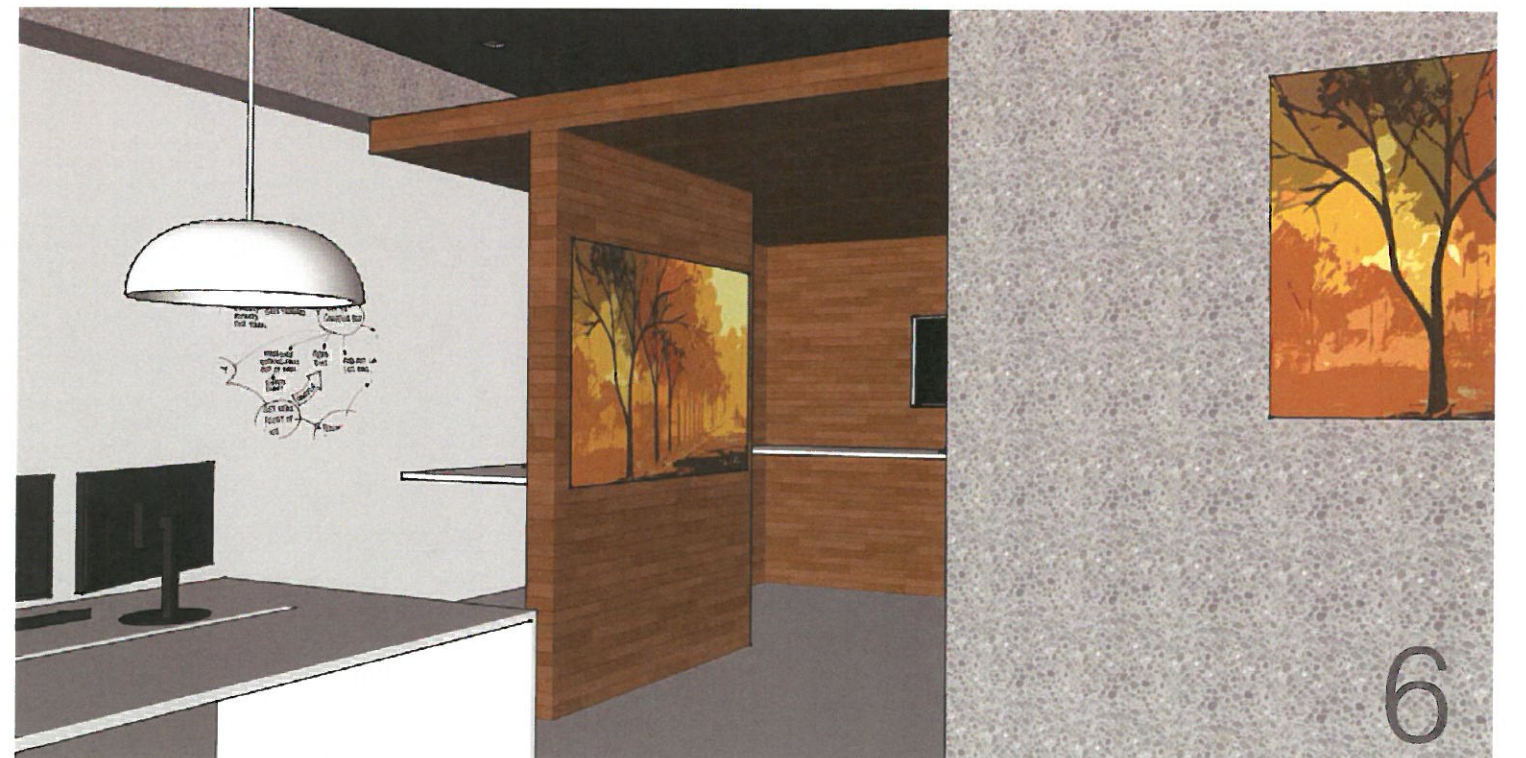
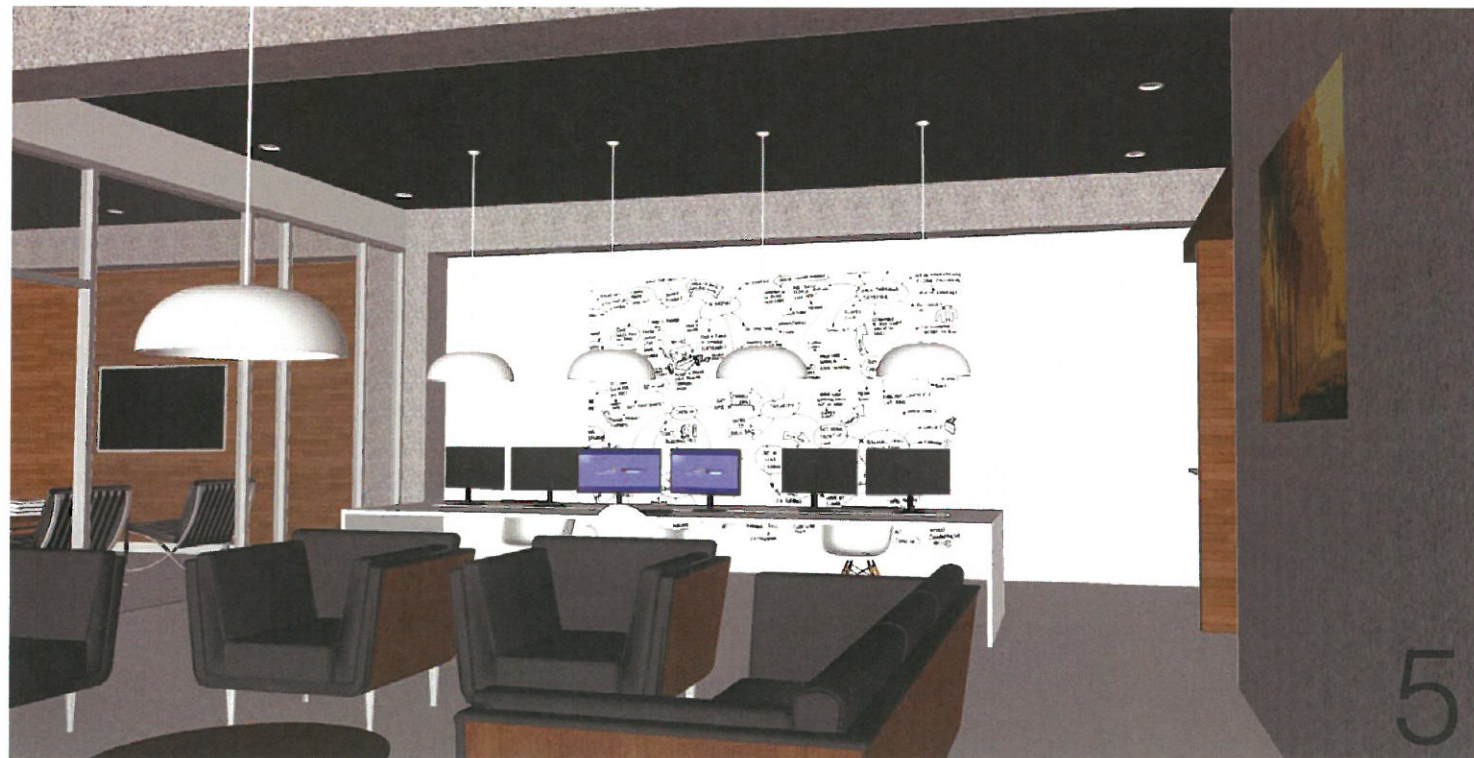




## SUITE 1 - BEFORE AND AFTER IMAGES

PROJECT NUMBER: 2940-15





## SUITE 1 - BEFORE AND AFTER IMAGES

PROJECT NUMBER: 2940-15

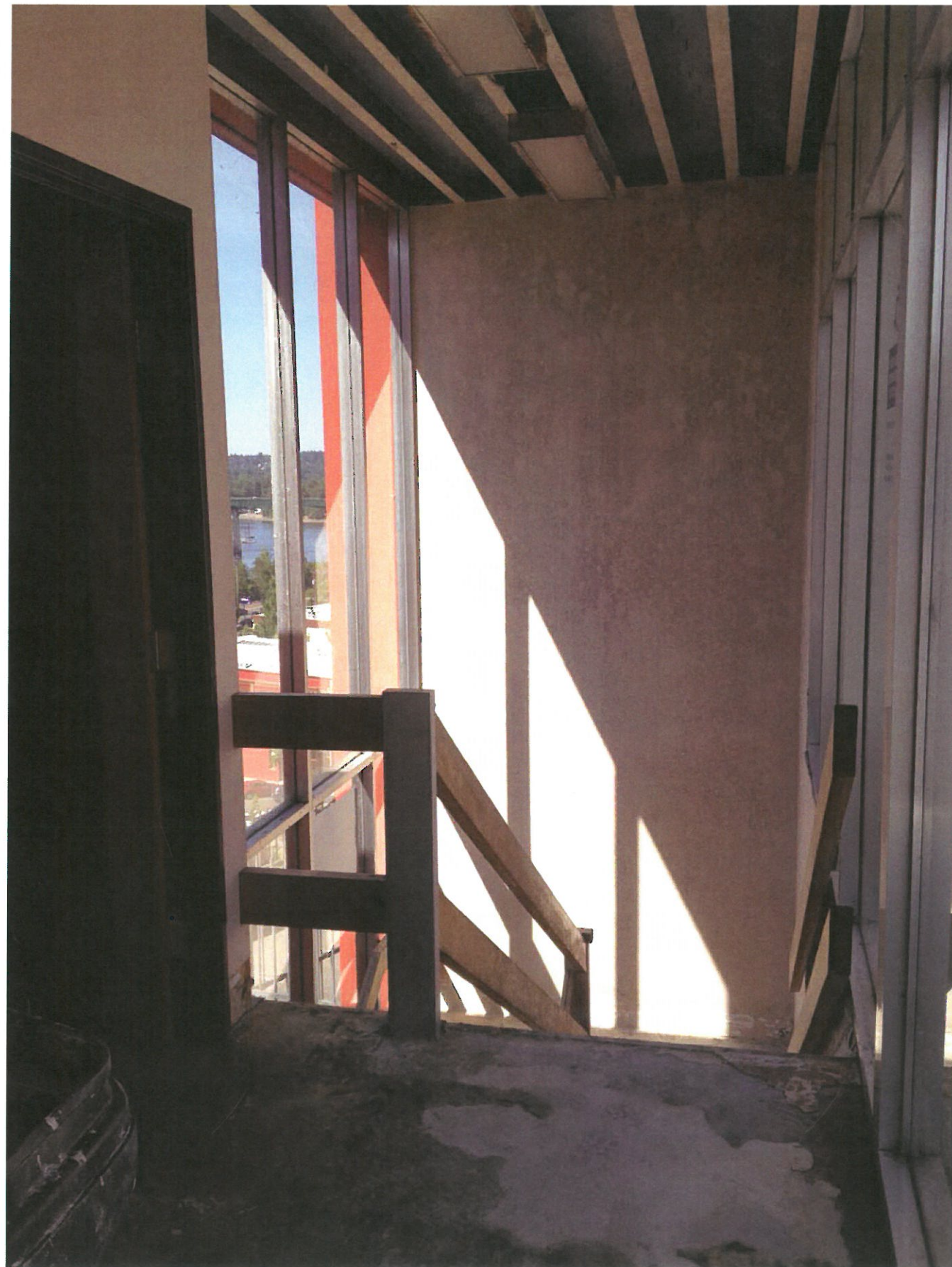




# SUITE 1 - BEFORE AND AFTER IMAGES

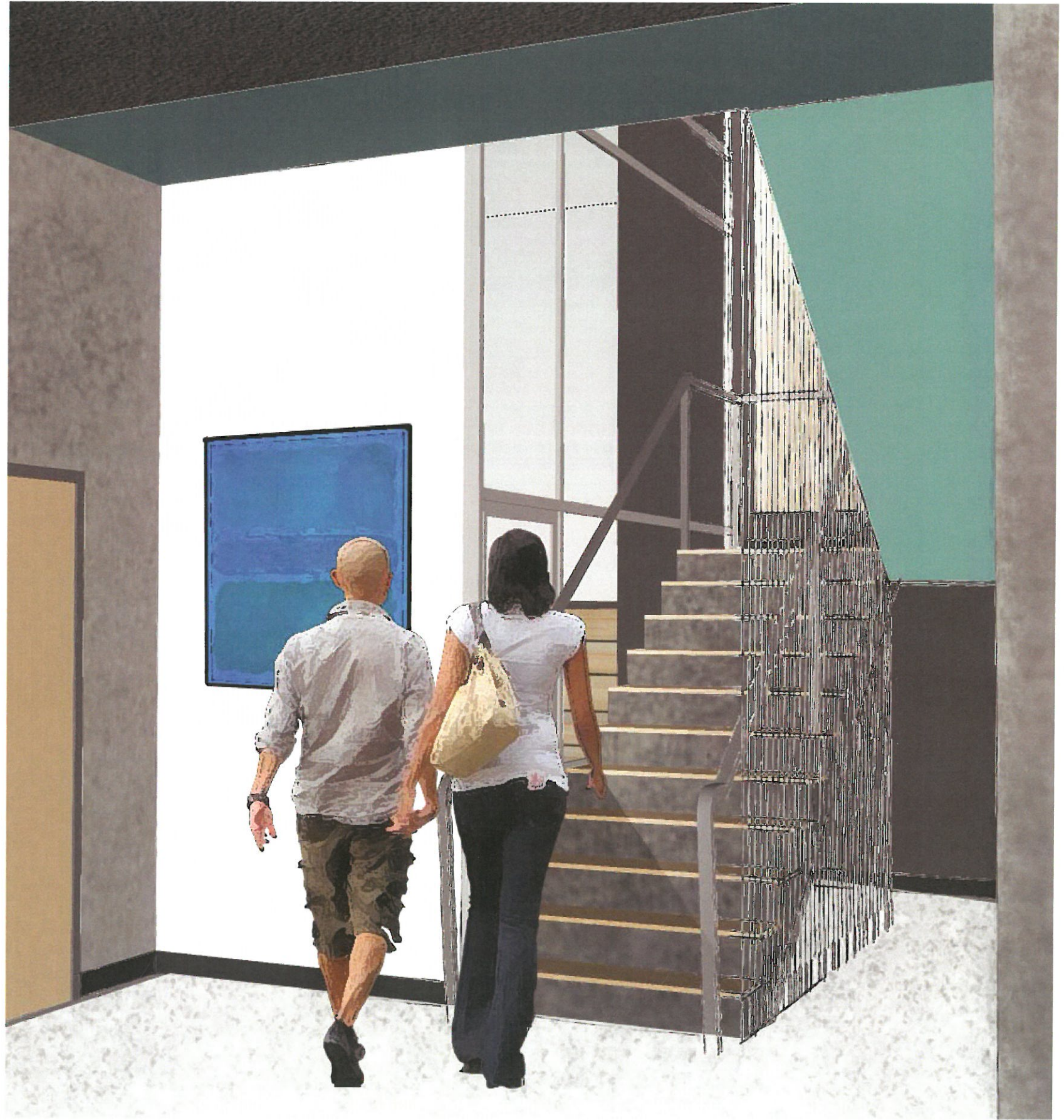
PROJECT NUMBER: 2940-15





UPPER LOBBY  
PROJECT NUMBER: 2940-15



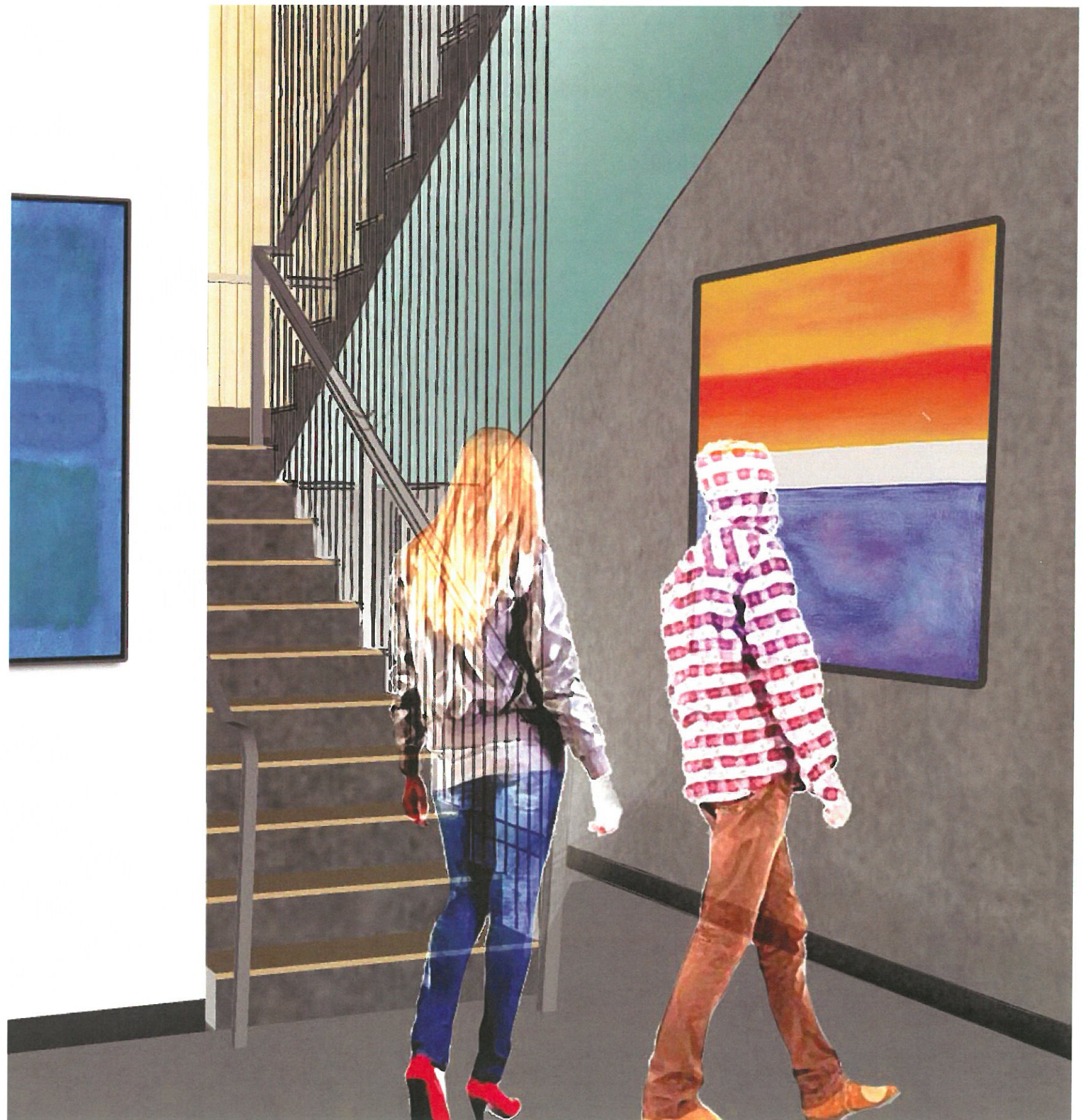


## LOWER LOBBY

PROJECT NUMBER: 2940-15

Greenbox<sup>Architecture</sup>  
1300 John Adams St. Ste 106 Oregon City, Oregon 97045

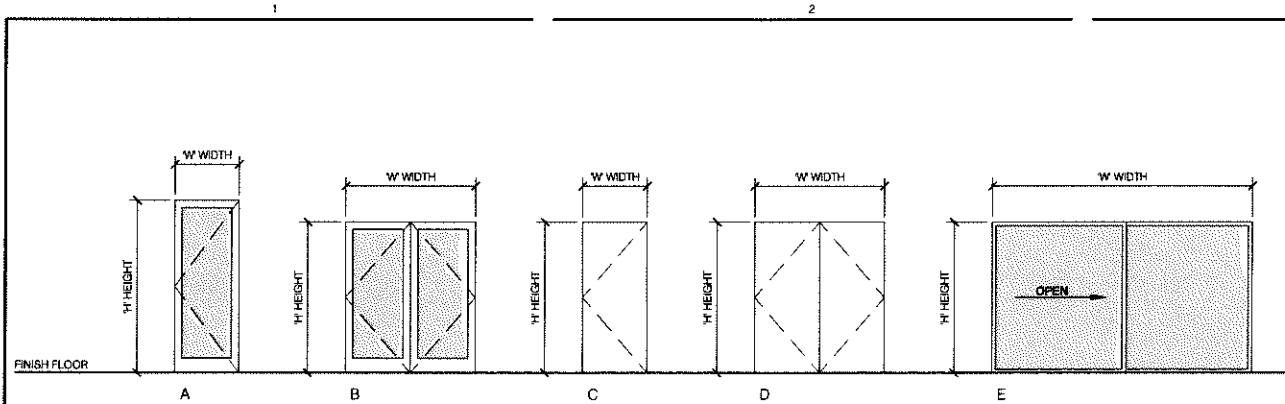




## LOWER LOBBY

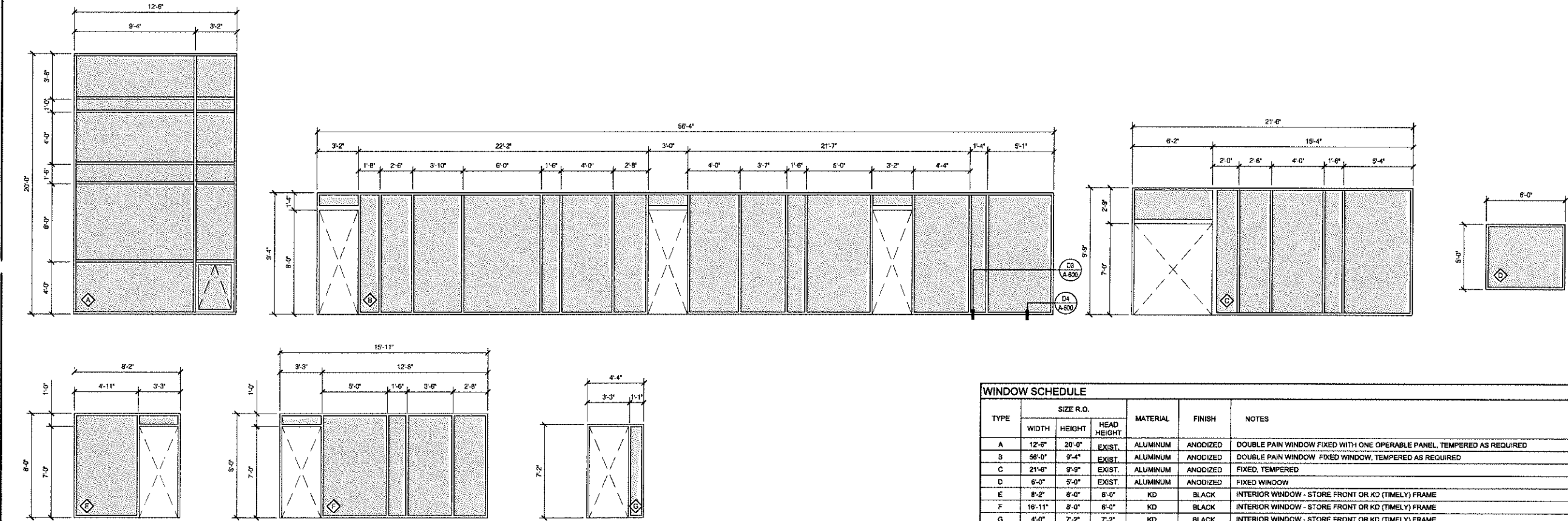
PROJECT NUMBER: 2940-15





DOOR ELEVATIONS

DOOR SCHEDULE												
DOOR NUMBER	DOORS			DOORS			FRAMES			HARDWARE GROUP	RATING	NOTES
	WIDTH	HEIGHT	THK	TYPE	MATERIAL	FINISH	TYPE	MATERIAL	TRIM / FINISH			
100A	3'-0"	8'-0"	1 3/4"	A	STORE FRONT	ANODIZED	WIN TYP 'B'	STORE FRONT	ANODIZED	-	-	LOCKING EXTERIOR DOOR WITH PANIC HARDWARE AND FULL LIGHT
100B	3'-0"	7'-0"	1 3/4"	A	SC	STAIN	WIN TYP 'F'	KD	BLACK	-	-	INTERIOR DOOR WITH LEVER/ LATCH HARDWARE
101A	12'-0"	8'-0"	1 3/4"	E	ALUMINUM	ANODIZED	-	STORE FRONT	ANODIZED	-	-	INTERIOR SLIDING GLASS DOOR
101B	3'-0"	7'-0"	1 3/4"	A	SC	STAIN	WIN TYP 'E'	KD	BLACK	-	-	INTERIOR DOOR WITH LEVER/ LATCH HARDWARE
103A	3'-0"	7'-0"	1 3/4"	C	SC	STAIN	WIN TYP 'G'	KD	BLACK	-	-	INTERIOR DOOR WITH LEVER/ LATCH HARDWARE
105A	3'-0"	7'-0"	1 3/4"	C	SC	STAIN	-	KD	BLACK	-	-	INTERIOR DOOR WITH LEVER/ LATCH HARDWARE AND AUTO CLOSER
106A	3'-0"	7'-0"	1 3/4"	C	SC	STAIN	-	KD	BLACK	-	-	INTERIOR DOOR WITH LEVER/ LATCH HARDWARE AND AUTO CLOSER
107A	3'-0"	7'-0"	1 3/4"	C	SC	STAIN	-	KD	BLACK	-	-	LOCKING INTERIOR DOOR WITH LEVER/ LATCH HARDWARE AND AUTO CLOSER
108A	3'-0"	7'-0"	1 3/4"	C	SC	STAIN	-	KD	BLACK	-	-	INTERIOR DOOR WITH LEVER/ LATCH HARDWARE AND AUTO CLOSER
108B	3'-0"	7'-0"	1 3/4"	C	SC	STAIN	-	KD	BLACK	-	-	INTERIOR DOOR WITH LEVER/ LATCH HARDWARE AND AUTO CLOSER
109A	4'-0"	7'-0"	1 3/4"	D	SC	STAIN	-	KD	BLACK	-	-	LOCKING INTERIOR DOOR WITH LEVER/ LATCH HARDWARE
110A	2'-0"	7'-0"	1 3/4"	C	SC	STAIN	-	KD	BLACK	-	-	LOCKING INTERIOR DOOR WITH LEVER/ LATCH HARDWARE
111A	3'-0"	EXIST	1 3/4"	C	SC	STAIN	-	KD	BLACK	-	-	LOCKING INTERIOR DOOR WITH LEVER/ LATCH HARDWARE
112A	3'-0"	8'-0"	1 3/4"	A	STORE FRONT	ANODIZED	WIN TYP 'B'	STORE FRONT	ANODIZED	-	-	LOCKING EXTERIOR DOOR WITH PANIC HARDWARE AND FULL LIGHT
112B	3'-0"	8'-0"	1 3/4"	A	STORE FRONT	ANODIZED	WIN TYP 'B'	STORE FRONT	ANODIZED	-	-	LOCKING EXTERIOR DOOR WITH PANIC HARDWARE AND FULL LIGHT
113A	6'-0"	7'-0"	1 3/4"	D	SC	STAIN	-	KD	BLACK	-	-	LOCKING INTERIOR DOOR WITH LEVER/ LATCH HARDWARE
200A	6'-0"	7'-0"	1 3/4"	B	STORE FRONT	STAIN	-	KD	BLACK	-	-	LOCKING EXTERIOR DOOR WITH LEVER/ LATCH HARDWARE
201A	3'-0"	7'-0"	1 3/4"	A	SC	STAIN	-	KD	BLACK	-	-	LOCKING EXTERIOR DOOR WITH PANIC HARDWARE AND FULL LIGHT



WINDOW AND DOOR FRAME ELEVATIONS

WINDOW SCHEDULE						
TYPE	SIZE R.O.			MATERIAL	FINISH	NOTES
	WIDTH	HEIGHT	HEAD HEIGHT			
A	12'-6"	20'-0"	EXIST.	ALUMINUM	ANODIZED	DOUBLE PAIN WINDOW FIXED WITH ONE OPERABLE PANEL, TEMPERED AS REQUIRED
B	56'-0"	9'-4"	EXIST.	ALUMINUM	ANODIZED	DOUBLE PAIN WINDOW FIXED WINDOW, TEMPERED AS REQUIRED
C	21'-6"	9'-9"	EXIST.	ALUMINUM	ANODIZED	FIXED, TEMPERED
D	6'-0"	5'-0"	EXIST.	ALUMINUM	ANODIZED	FIXED WINDOW
E	8'-2"	8'-0"	6'-0"	KD	BLACK	INTERIOR WINDOW - STORE FRONT OR KD (TIMELY) FRAME
F	16'-11"	8'-0"	6'-0"	KD	BLACK	INTERIOR WINDOW - STORE FRONT OR KD (TIMELY) FRAME
G	4'-0"	7'-2"	7'-2"	KD	BLACK	INTERIOR WINDOW - STORE FRONT OR KD (TIMELY) FRAME

NOTE: SEE PAGE A-600 FOR TYPICAL WINDOW DETAILS. PROVIDE KAWNEER (OR APPROVED EQUAL) STOREFRONT WINDOWS AND DOORS.

NOT FOR  
CONSTRUCTION

HIGH STREET BUILDING  
ALTERATIONS

615 HIGH ST, OREGON CITY, OR 97045  
22531AB0200

DOOR AND WINDOW SCHEDULES

PROJECT NO.: 2940-15  
DRAWN BY:  
DATE: JUNE 29, 2015

G-300



MOLD AND MILDEW NOTES

1. THE FOLLOWING REQUIREMENTS SHALL APPLY TO ALL NEW AND REMODEL CONSTRUCTION PROJECTS.
2. IN THE EVENT THE CONTRACTOR DISCOVERS, AT ANY TIME DURING DEMOLITION, CONSTRUCTION, AND/OR REMODELING OPERATIONS, EXISTING CONDITIONS THAT COULD INCLUDE THE PRESENCE OF MOLD AND/OR MILDEW, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE AND THE ARCHITECT/ENGINEER OF RECORD, IN WRITING, OF THE CONCERNS AND/OR SUSPICIONS.
3. CONCURRENTLY, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO RETAIN A QUALIFIED AND LICENSED TO CONTRACTOR TO PERFORM ALL NECESSARY REMEDIATION WORK, COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS, CODES, AND STATUTES.
4. ONCE DISCOVERY OR SUSPICIONS OF MOLD AND/OR MILDEW IS MADE, THE CONTRACTOR SHALL TAKE ALL REASONABLE AND PRACTICAL PRECAUTIONS TO PROTECT ALL CONSTRUCTION PERSONNEL AND THE PUBLIC FROM EXPOSURE TO MOLD AND/OR MILDEW, AND SUCH PRECAUTIONS SHALL REMAIN IN PLACE UNTIL SUCH TIME AS THE OWNER OR HEALTH AUTHORITY DIRECTS OTHERWISE. CONSTRUCTION OPERATIONS SHALL NOT BE STOPPED OR CURTAILED, EXCEPT IN THE AREA OF MOLD/MILDEW CONCERN DUE TO THESE REQUIRED PRECAUTIONS.
5. THE CONTRACTOR SHALL MAKE ALL REASONABLE EFFORTS TO AVOID CONDITIONS FAVORABLE TO THE DEVELOPMENT OF MOLD AND MILDEW, ESPECIALLY IN VOIDS WHICH WILL BE CONCEALED AND NOT VENTILATED. IN ALL CASES, INTERIOR SPACES AND INTERIOR FINISHED CONSTRUCTION SHALL BE MAINTAINED IN DRY AND WELL-VENTILATED CONDITIONS.
6. THE CONTRACTOR SHALL COMPLY WITH FEDERAL ENVIRONMENTAL AND OSHA REGULATIONS AND ALL LOCAL AND STATE HEALTH DEPARTMENT REQUIREMENTS AND RECOMMENDATIONS REGARDING MOLD AND MILDEW.
7. ALL PENETRATIONS SHALL BE SEALED WATER-TIGHT TO PREVENT MOISTURE MIGRATION FROM ENTERING THE BUILDING OR WALL CAVITIES.
8. ALL CONDENSATE DRAIN PANS SHALL BE CLEANED AND KEPT FREE FROM DEBRIS UNTIL, AND WHEN, THE FACILITY IS TURNED OVER TO THE OWNER OR TENANT. INSURE POSITIVE DRAINAGE AT ALL DRAIN PANS. INSURE THAT ALL "COLD" SURFACES ARE INSULATED AND COVERED WITH A FULLY SEALED AND CONTINUOUS VAPOR BARRIER. "COLD" SURFACES INCLUDE, BUT ARE NOT LIMITED TO, DOMESTIC COLD WATER PIPING, CHILLED WATER PIPING, INTERIOR RAIN LEADERS, OUTDOOR AIR INTAKES, AND DUCTWORK CARRYING AIR CONDITIONED SUPPLY AIR.
9. INSURE THAT THERE ARE NO WATER LEAKS IN ROOF DECK, ROOF WALKING SURFACE, CONCEALED PLUMBING CHASES, RETURN AIR PATHS AND PLENUMS SHALL BE KEPT DRY. ALL EXISTING SUPPLY AIR PATHS AND ALL EXISTING DUCTWORK TO BE RE-USED SHALL BE CLEANED AND TREATED AS REQUIRED TO REMOVE THE POTENTIAL FOR MOLD AND MILDEW. ALL DAMP AREAS SHALL BE DRIED THOROUGHLY PRIOR TO ENCLOSURE. REMOVE ALL.
10. ORGANIC MATERIAL FROM THE SPACED TRAIT ALL SURFACES WITH AN APPROVED FUNGICIDE

DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- AREA OF EXISTING CONSTRUCTION TO BE REMOVED
- ADJACENT BUILDING, NOT IN CONTRACT

DEMOLITION NOTES

- A. COORDINATE EXTENT OF ALL DEMOLITION WORK WITH NEW WORK. CONSULT WITH ARCHITECT UPON DISCOVERY OF SIGNIFICANT DISCREPANCIES.
- B. PATCH AND REPAIR EXISTING SURFACES THAT REMAIN. MATCHING SUBSTRATE AND FINISHES OF ADJACENT EXISTING SURFACES.
- C. PROVIDE SHORING AND BRACING AS REQUIRED.
- D. PROTECT ALL ITEMS FROM DAMAGE DURING DEMOLITION.
- E. OWNER SHALL HAVE RIGHT OF FIRST REFUSAL FOR EQUIPMENT AND MATERIALS REMOVED DURING DEMOLITION AND WILL PROMPTLY REMOVE SELECTED ITEMS. SALVAGEABLE / RECYCLABLE EQUIPMENT AND MATERIALS SHALL BE STOCKPILED AT AN OWNER PROVIDED ON-SITE LOCATION FOR FUTURE USE / RECYCLING. ALL OTHER DEMOLISHED MATERIALS ARE TO BE REMOVED DAILY. FEES ASSOCIATED WITH DISPOSAL SHALL BE INCLUDED IN THE CONTRACTOR'S BASE BID.
- F. ALL ITEMS NOT REUSED FOR NEW CONSTRUCTION TO BE RECYCLED TO THE MAXIMUM EXTENT ALLOWED PER LOCAL CODE. VERIFY WHICH ITEMS TO BE REUSED W/ BUILDING OWNER AND ARCHITECT PRIOR TO REMOVAL.
- G. PLUMBING FIXTURES REMOVED
- |          |   |
|----------|---|
| TOILET   | 3 |
| URINAL   | 1 |
| LAV      | 2 |
| MOP SINK | 1 |
| W/H      | 2 |
| SINK     | 3 |

DEMOLITION KEY LEGEND

1. REMOVE STOREFRONT WINDOW SYSTEM
2. REMOVE EXTERIOR WALL AROUND STRUCTURAL COLUMN. DO NOT REMOVE STRUCTURAL COLUMN
3. REMOVE EXISTING DOOR
4. REMOVE WOOD GUARDRAIL AND POST
5. REMOVE ALUMINUM GUARD RAIL AND POST
6. REMOVE SOFFIT MATERIAL. CANOPY TO REMAIN
7. REMOVE EXISTING PAINT OVER CONCRETE WHERE PAINT IS CRACKED OR PEELING
8. REMOVE EXISTING LANDSCAPING
9. REMOVE ASPHALT PARKING LOT COATING
10. REMOVE ALL TIES AND METAL FRAMING ATT. TO CEILING
11. REMOVE EXISTING GUARDRAIL POST TO REMAIN
12. REMOVE CONCRETE WALL FOR NEW WINDOW
13. REMOVE POST AND LIGHT
14. EXISTING CONCRETE WALL TO REMAIN, REMOVE FINISH FACE
15. EXISTING CONCRETE COLUMN TO REMAIN, TYP. REMOVE FINISH FACE
16. EXISTING WINDOW TO REMAIN
17. REMOVE EXISTING WALL
18. REMOVE CONCRETE SLAB IN THIS AREA AS REQUIRED FOR NEW PLUMBING. COORDINATE WITH NEW WORK
19. REMOVE EXISTING FURNACE
20. REMOVE EXISTING HVAC UNIT
21. REMOVE LIGHT, EXISTING POLE TO REMAIN
22. REMOVE PEDESTRIAN WALKING SURFACE
23. REMOVE HAND/ GUARDRAIL
24. REMOVE PLUMBING FIXTURES
25. REMOVE WATER HEATER
26. CUT FENCE DOWN TO 48" ABOVE SLAB ON GRADE
27. REMOVE PHONE AND DATA
28. SERVICE / REPLACE EXISTING PANELS
29. MOP TO REMAIN

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HIGH STREET BUILDING  
ALTERATIONS

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22031AB000200

DEMOLITION PLAN

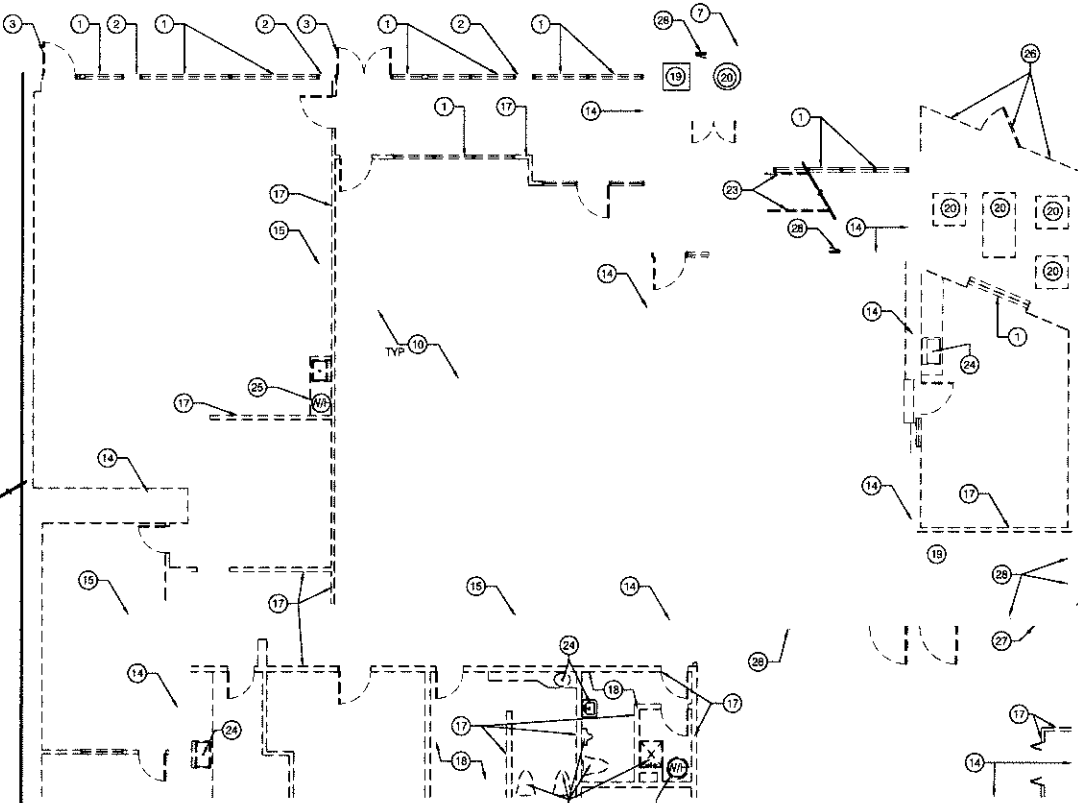
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D-100

BID DOCUMENTS

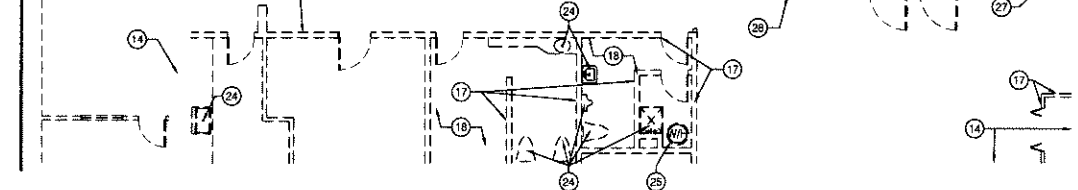
GROUND FLOOR DEMOLITION PLAN

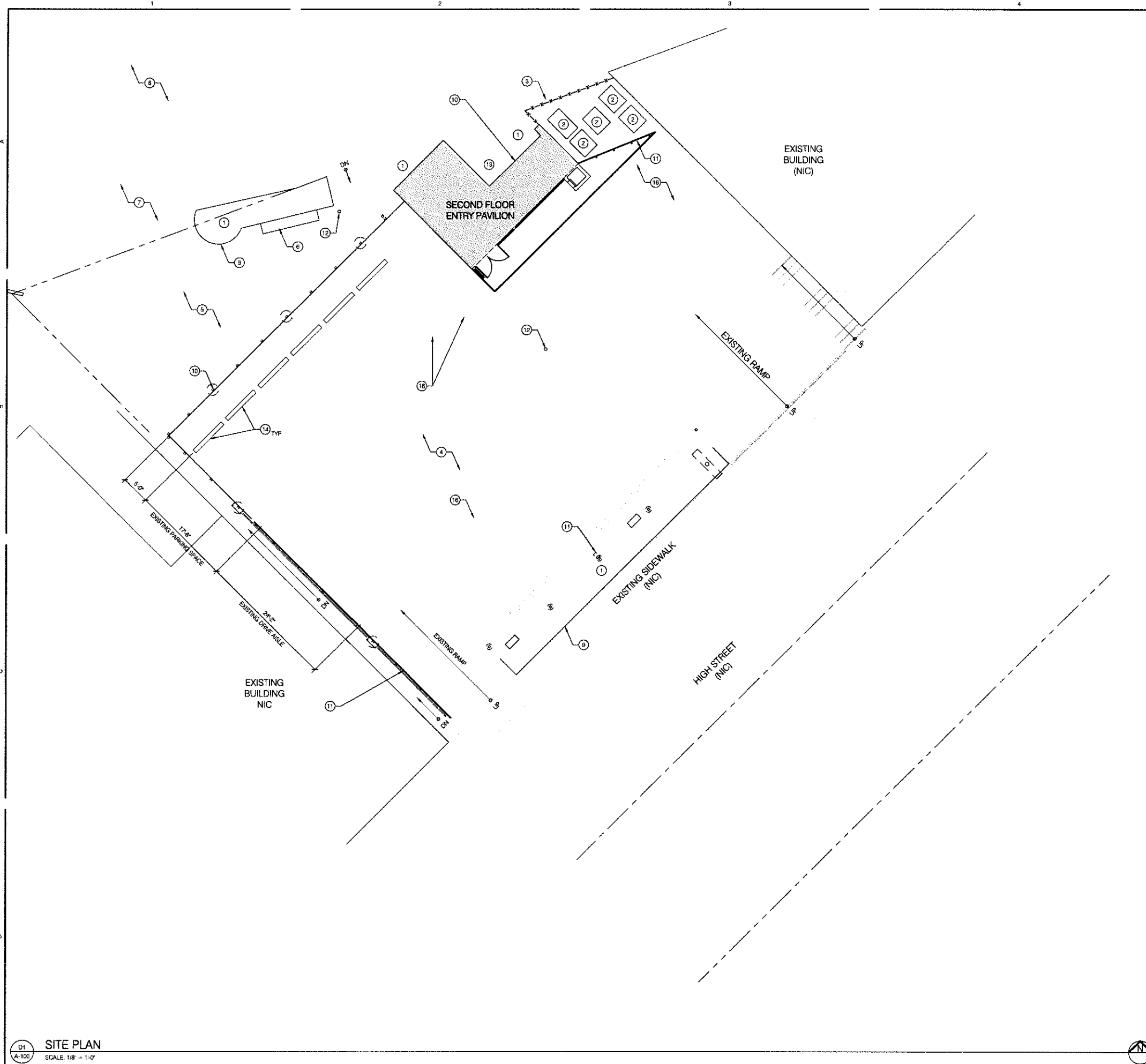
SCALE: 1/8" = 1'-0"



BASEMENT DEMOLITION PLAN

SCALE: 1/8" = 1'-0"





SITE PLAN GENERAL NOTES

- 1. REGRADE SOIL AS REQUIRED AT BUILDING PERIMETER TO MAINTAIN 6" CLEARANCE TO SIDING AND POSITIVE SLOPE AWAY FROM BUILDING.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL SITE INSPECTIONS.
- 3. VERIFY ALL UNDERGROUND CONDUIT SIZE AND LOCATION WITH DESIGN BUILD CONTRACTOR.

EXISTING CONSTRUCTION TO REMAIN

EXISTING BUILDING

ADJACENT BUILDING, NOT IN CONTRACT

SITE PLAN KEYNOTES

- 1. NEW LANDSCAPING IN EXISTING LANDSCAPE BED.
- 2. EXISTING HVAC UNIT, REPLACE IF REQ.
- 3. NEW WOOD SLAT SCREENING OVER EXISTING FENCE, 48" AFF.
- 4. NEW PARKING LOT COATING
- 5. EXISTING CONCRETE COURTYARD, PRESSURE WASH
- 6. NEW CEDAR BENCH
- 7. MCLOUGHLIN PROMENADE, N.I.C.
- 8. OREGON CITY ELEVATOR, N.I.C.
- 9. PAINT EXISTING PLANTER BED, P-3
- 10. NEW GUARDRAIL, TYP
- 11. NEW LIGHT AT EXISTING POLE
- 12. CLEAN EXISTING AREA DRAIN
- 13. LOWER GRADE AT BUILDING PERIMETER TO MINIMUM 6" BELOW WINDOW SILL. SLOPE AWAY FROM BUILDING.
- 14. RELOCATE EXISTING WHEEL STOPS
- 15. NEW PARKING STRIPING, TYP
- 16. NEW PEDESTRIAN COATING

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SITE PLAN

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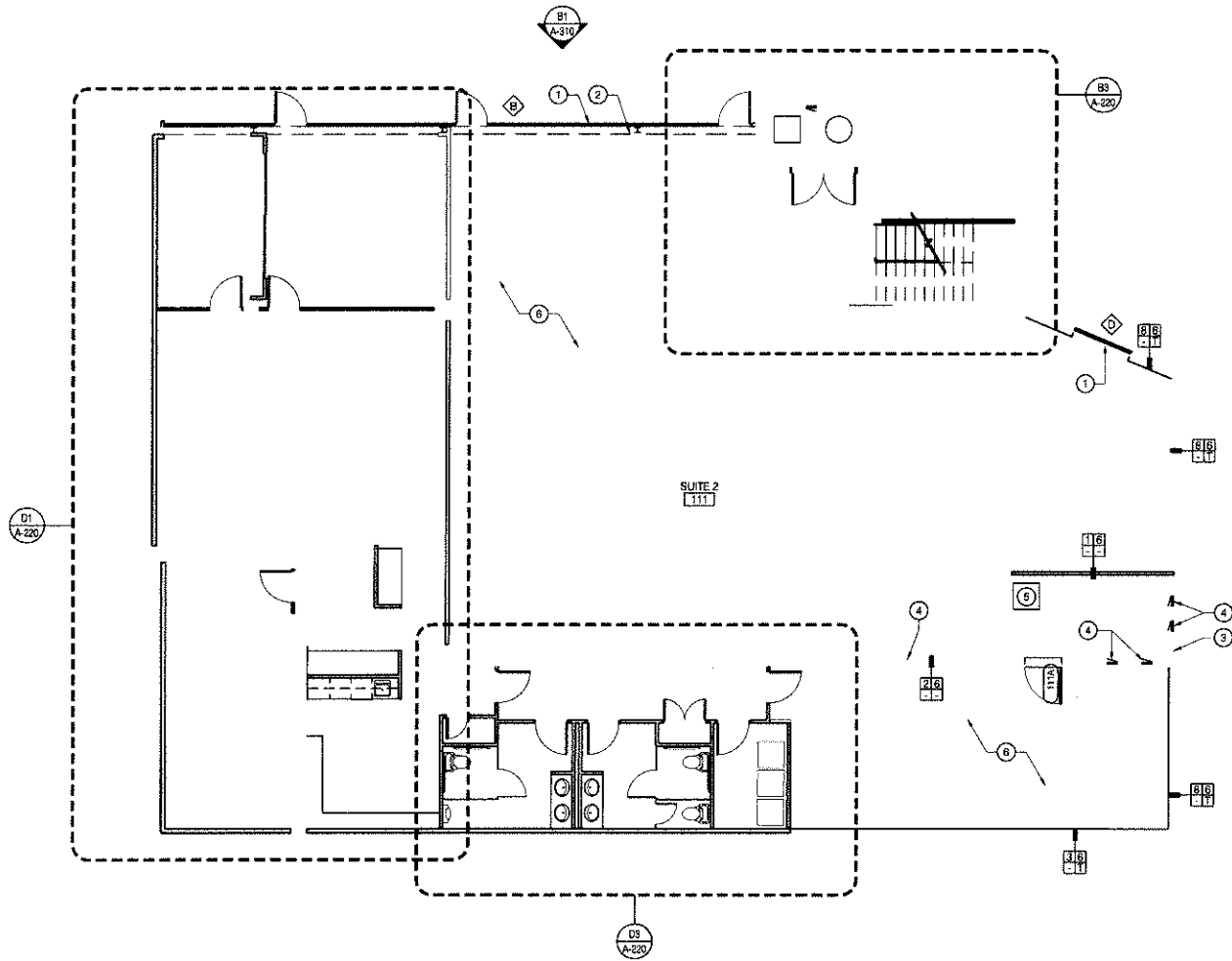
A-100

BID DOCUMENTS

C2  
A-200

BASEMENT FLOOR PLAN

SCALE: 1/8" = 1'-0"



FLOOR PLAN NOTES

- A. REFER TO DOOR AND WINDOW MANUFACTURERS' SPECIFICATIONS FOR ACTUAL ROUGH OPENING SIZE.
- B. REFER TO EXISTING CONDITIONS FOR SPECIFIC WALL ASSEMBLY INFORMATION.
- C. SEE ELEVATIONS FOR FINISH LEGEND.

GLAZING SYSTEM NOTES

- A. LIST AND LABEL FIXED GLAZING IN ACCORDANCE WITH THE BUILDING CODE(S).
- B. PROVIDE TEMPERED AND IMPACT RESISTANT GLAZING TYPES IN ASSEMBLIES AS INDICATED IN THE BUILDING CODE(S).
- C. ALL SIZE DESIGNATIONS ARE WIDTH x HEIGHT (JAMB TO JAMB/SILL TO HEAD).
- D. PROVIDE ALL OPERABLE WINDOWS WITH LIMITERS RESTRICTING WINDOW OPENING (EXCEPT EGRESS WINDOWS) NO FURTHER THAN 45 DEGREES OR 12 INCHES - THE LEAST OF THE TWO.

FLOOR PLAN KEYED NOTES

- 1. NEW STORE FRONT WINDOW SYSTEM
- 2. EXISTING WIDE FLANGE COLUMN, REMOVE CORROSION, PRIMER AND PAINT
- 3. MAIN DISTRIBUTION PANEL
- 4. EXISTING PANEL
- 5. HVAC UNIT, REPLACE IF REQ
- 6. UNFINISHED SHELL

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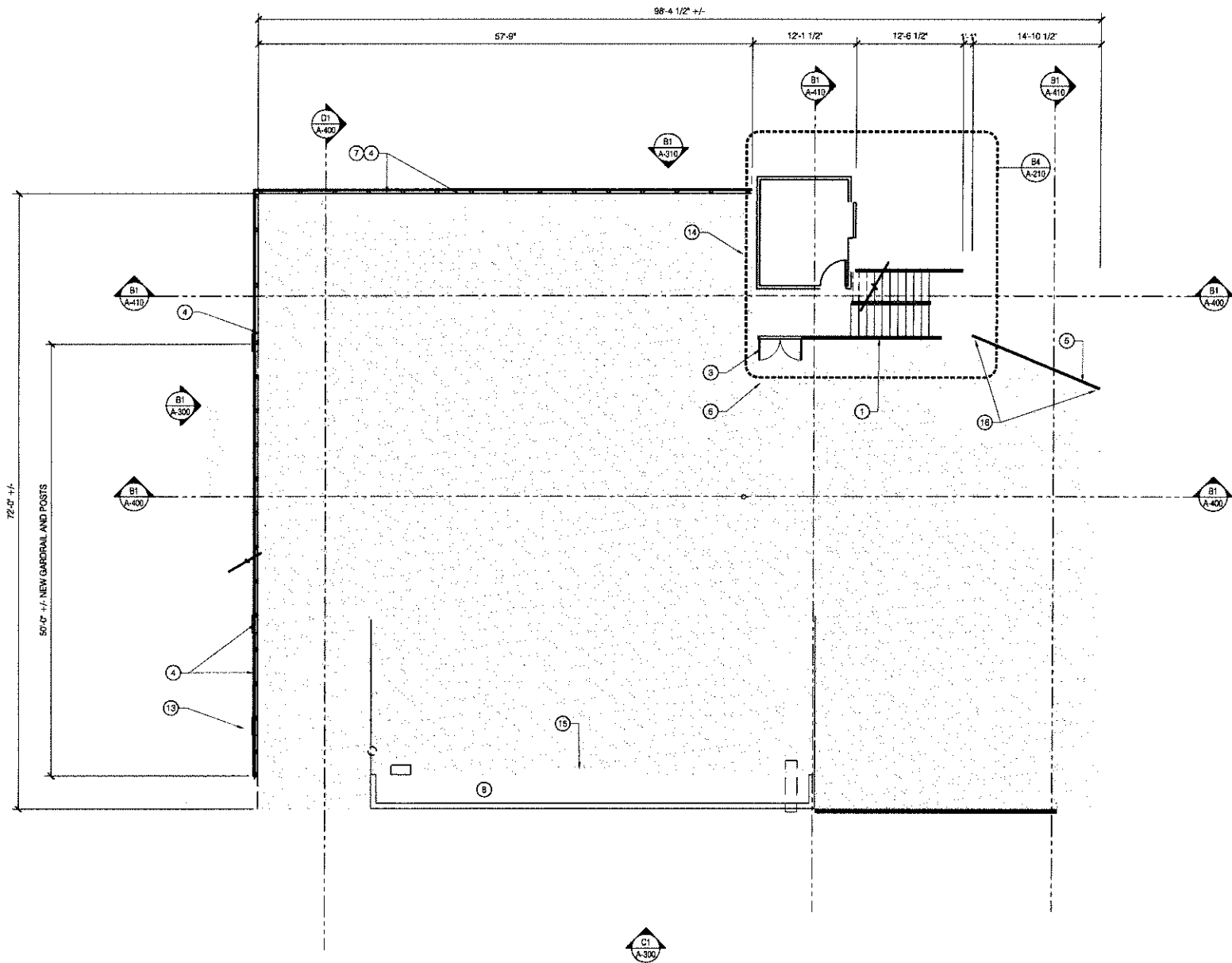
HIGH STREET BUILDING  
ALTERATIONS

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GROUND FLOOR PLAN

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A-200



B4  
A-220

GROUND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

FLOOR PLAN NOTES

- A. REFER TO DOOR AND WINDOW MANUFACTURERS' SPECIFICATIONS FOR ACTUAL ROUGH OPENING SIZE.
- B. REFER TO EXISTING CONDITIONS FOR SPECIFIC WALL ASSEMBLY INFORMATION.
- C. SEE ELEVATIONS FOR FINISH LEGEND.

GLAZING SYSTEM NOTES

- A. LIST AND LABEL FIXED GLAZING IN ACCORDANCE WITH THE BUILDING CODE(S).
- B. PROVIDE TEMPERED AND IMPACT RESISTANT GLAZING TYPES IN ASSEMBLIES AS INDICATED IN THE BUILDING CODE(S).
- C. ALL SIZE DESIGNATIONS ARE WIDTH x HEIGHT (JAMB TO JAMB/SILL TO HEAD).
- D. PROVIDE ALL OPERABLE WINDOWS WITH LIMITERS RESTRICTING WINDOW OPENING (EXCEPT EGRESS WINDOWS) NO FURTHER THAN 45 DEGREES OR 12 INCHES - THE LEAST OF THE TWO.

FLOOR PLAN KEYED NOTES

1. NEW STORE FRONT WINDOW SYSTEM
2. EXISTING WIDE FLANGE COLUMN, REMOVE CORROSION, PRIMER AND PAINT, P-2
3. NEW STORE FRONT DOOR
4. NEW WOOD GUARDRAIL AND POST
5. NEW WOOD GUARDRAIL ATTACH TO EXISTING POSTS
6. NEW SOFFIT SEE DETAIL D4/A200
7. PAINT ALL EXTERIOR BUILDING FACES, P-1
8. NEW LANDSCAPING
9. NOT USED
10. REPAIR CRACKS IN PLANTER WITH NON SHRINK EPOXY GROUT
11. NOT USED
12. TRUGROOVE - LINEAR RECESSED LED TRIMLESS LIGHT, (2' 4" AND 8' AS SHOWN)
13. POWER WASH EXTERNAL STAIRS
14. NEW LIGHT
15. LITHONIA D SERIES D ON EXISTING POLE. PAINT POLE, P-2
16. NEW POST.

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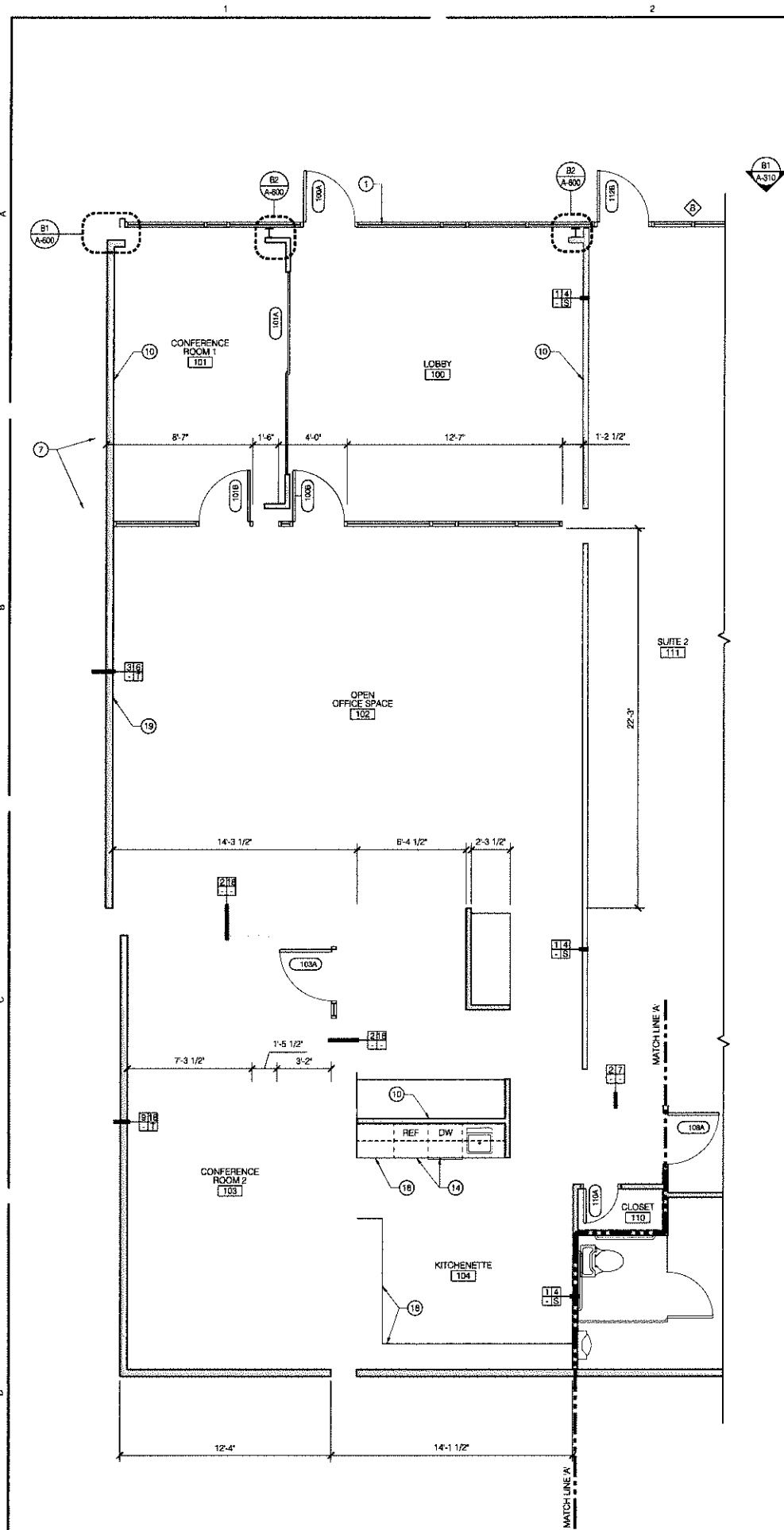
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22E31AR0000

FIRST FLOOR PLAN

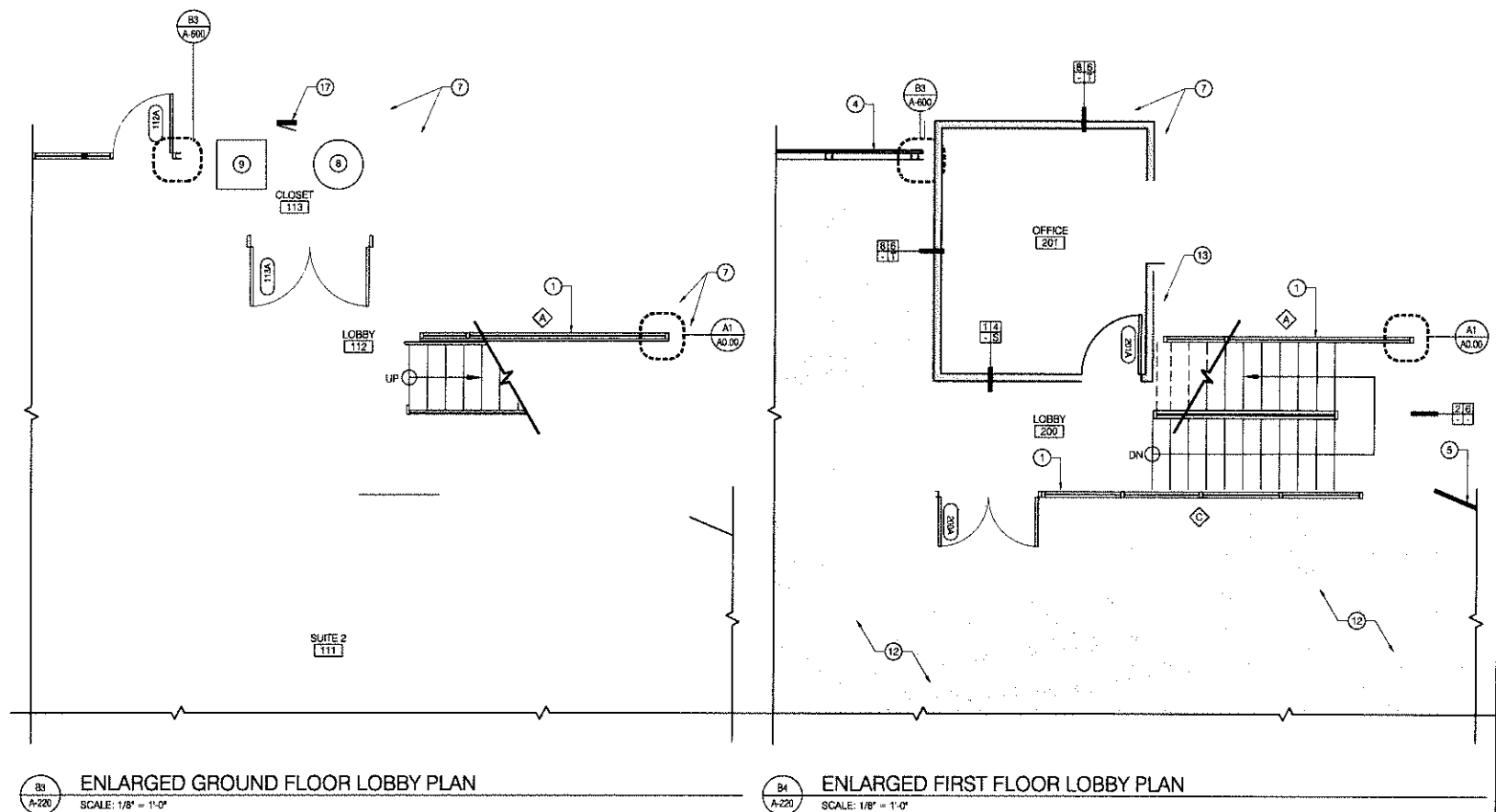
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DRAWN BY:  
DATE: JUNE 23, 2015

A-210





D1  
A-220  
ENLARGED FLOOR PLAN - SUITE 1  
SCALE: 1/8" = 1'-0"



B3  
A-220  
ENLARGED GROUND FLOOR LOBBY PLAN  
SCALE: 1/8" = 1'-0"

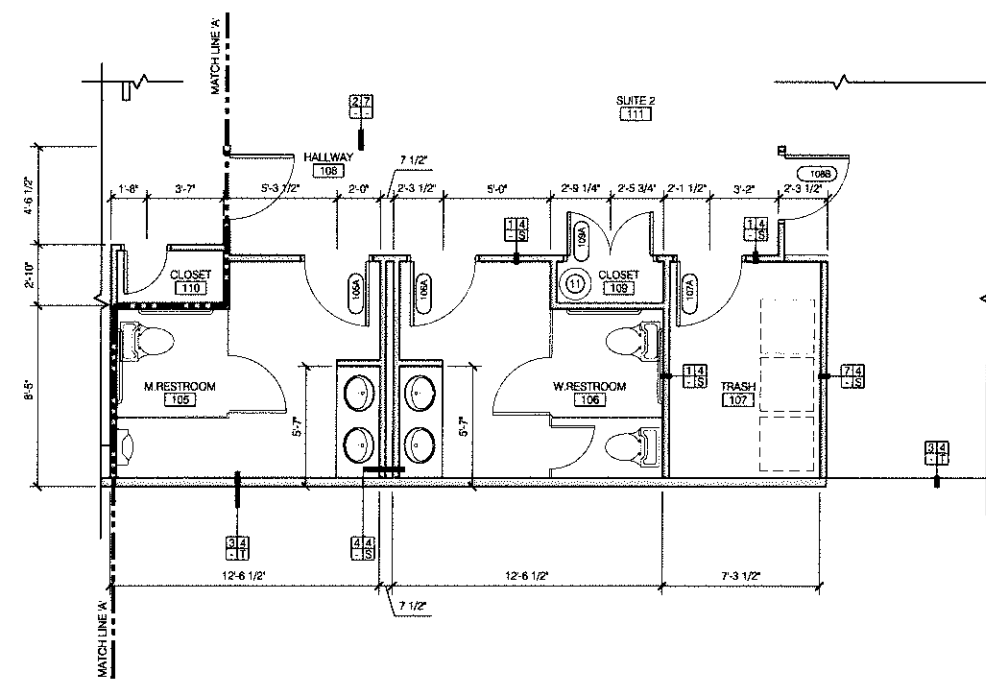
B4  
A-220  
ENLARGED FIRST FLOOR LOBBY PLAN  
SCALE: 1/8" = 1'-0"

#### FLOOR PLAN NOTES

- A. REFER TO DOOR AND WINDOW MANUFACTURERS' SPECIFICATIONS FOR ACTUAL ROUGH OPENING SIZE.
- B. FOR SPECIFIC WALL ASSEMBLY INFORMATION, SEE G-000 SERIES.

#### FLOOR PLAN KEYED NOTES

1. NEW STORE FRONT WINDOW SYSTEM
2. EXISTING WIDE FLANGE COLUMN, REMOVE CORROSION, PRIMER AND PAINT, P-2
3. NEW STORE FRONT DOOR
4. NEW WOOD GUARDRAIL AND POST
5. NEW WOOD GUARDRAIL ATTACH TO EXISTING POSTS
6. NEW SOFFIT SEE DETAIL D4/A200
7. PAINT ALL EXTERIOR BUILDING FACES, P-1
8. EXISTING SUMP PUMP TO REMAIN
9. EXISTING HVAC UNIT, REPLACE IF REQ
10. PROVIDE POWER AND DATA AT 6' AFF
11. WATER HEATER
12. TRAFFIC COATING
13. EXISTING WALL VENT TO REMAIN
14. NEW APPLIANCES
15. NOT USED
16. NEW POST
17. EXISTING PANEL
18. NEW CASEWORK
19. PROVIDE POWER AND DATA AT 15' AFF



D3  
A-220  
ENLARGED BATHROOM FLOOR PLAN  
SCALE: 1/8" = 1'-0"

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## HIGH STREET BUILDING ALTERATIONS

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### ENLARGED FLOOR PLANS

PROJECT NO.: 2940-15  
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A-220

BID DOCUMENTS

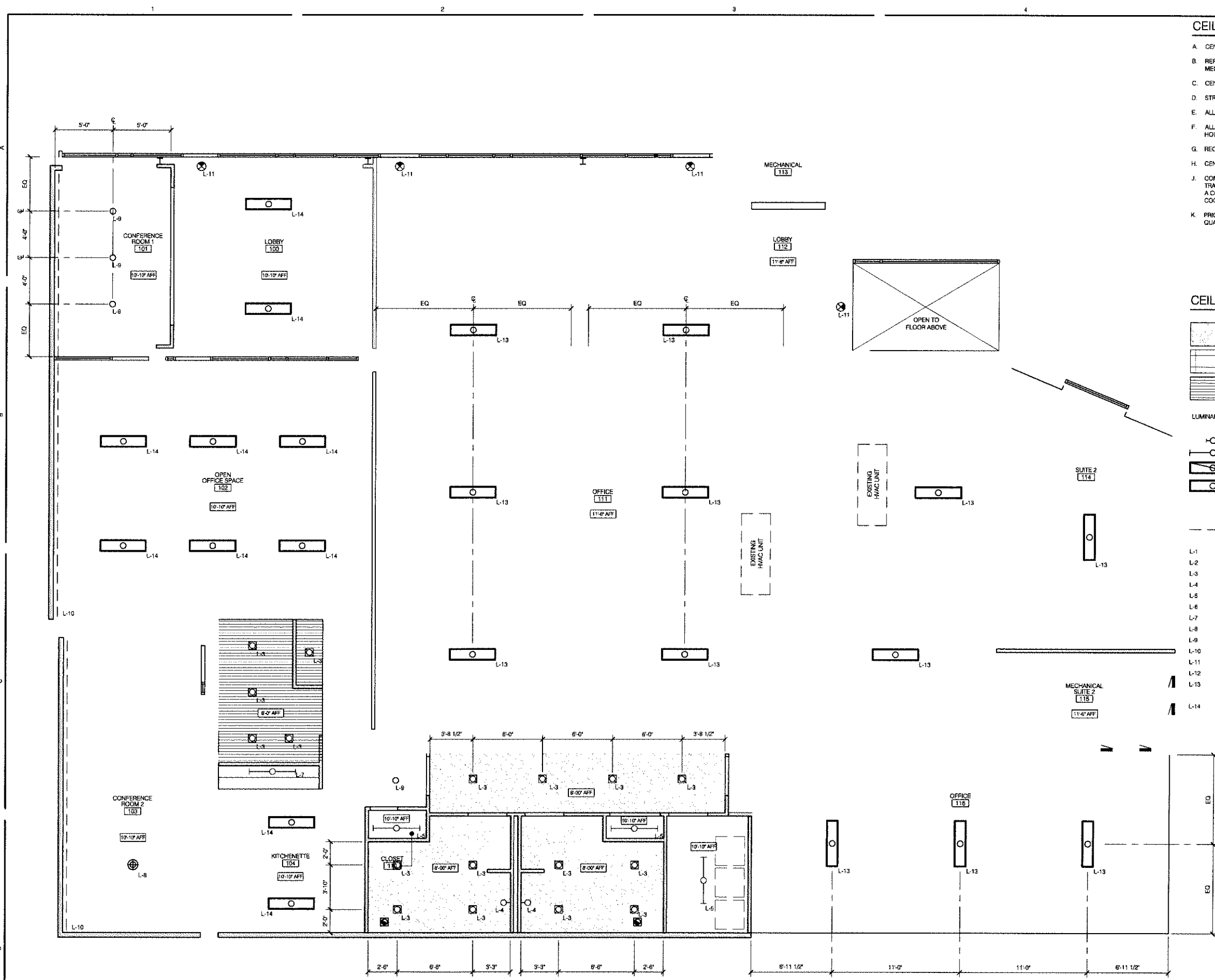


### INTERIOR FINISH NOTES

- A. INSTALL ALL FINISHES PER MANUFACTURERS INSTRUCTIONS.
- B. PREPARE ALL FLOOR AND WALL SURFACES FOR NEW FINISHES. PROVIDE FLOOR LEVELING, PER ARCHITECT PRE APPROVED METHOD AND MATERIALS, AS REQUIRED TO INSURE PROPER INSTALLATION OF PRODUCT(S).
- C. ALL FLOORING MATERIAL TRANSITIONS SHALL OCCUR AT THE CENTERLINE OF DOORS SEPARATING ROOMS UNLESS NOTED OTHERWISE.
- D. FINISH IN ACCESSORY SPACES TO MATCH ADJACENT SPACES, UNLESS NOTED OTHERWISE.
- E. FURNITURE AND PLANTS SHOWN FOR REFERENCE ONLY, UNLESS NOTED OTHERWISE.
- F. VERIFY ALL FIXTURE AND APPLIANCE DIMENSIONS PRIOR TO CASEWORK FABRICATION. FIELD VERIFY ALL DIMENSIONS PRIOR TO INSTALLATION.

FINISH LEGEND		VERIFY WITH ARCHITECT BEFORE ORDERING (SUBMIT SAMPLES FOR APPROVAL)
CONC-1	POLISHED BLACK	
CONC-2	BLACK STAIN	
CONC-3	WHITE STAIN	
CONC-4	UNFINISHED	
CONC-5	CLEAR SEALER	





- CEILING PLAN NOTES**
- A. CENTER ACOUSTICAL CEILING TILE GRIDS IN ROOMS, UNLESS NOTED OTHERWISE.
  - B. REFLECTED CEILING PLANS INDICATE LOCATIONS OF PRIMARY LIGHTING FIXTURES AND MECHANICAL COMPONENTS INTEGRAL WITH CEILINGS.
  - C. CENTER LIGHTS IN SOFFITS, UNLESS NOTED OTHERWISE.
  - D. STRUCTURAL INFORMATION SHOWN IS DIAGRAMMATIC.
  - E. ALL WALLS EXTEND TO BOTTOM OF STRUCTURE, UNLESS NOTED OTHERWISE.
  - F. ALL FIXTURES IC-RATED, UNLESS REQUIRED BY PREVAILING CODE TO MAINTAIN ONE HOUR RATING OR NOTED OTHERWISE.
  - G. RECESSED FIXTURES TO BE LENSED WHERE REQUIRED BY PREVAILING CODE.
  - H. CENTER VANITY FIXTURES OVER LAVATORY, UNLESS NOTED OTHERWISE.
  - J. CONTRACTOR IS RESPONSIBLE FOR ALL ABOVE CEILING HANGER BARS, TRANSFORMERS, UNIT HEATERS AND OTHER NECESSARY ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION IN COMPLIANCE WITH APPLICABLE CODES AND COORDINATED WITH STRUCTURAL ENGINEER.
  - K. PRIOR TO ORDERING OR INSTALLING, ALL EXISTING SIGNAGE LOCATIONS AND QUANTITIES APPROVED BY LOCAL FIRE MARSHALL, VERIFY WITH ARCHITECT.

- CEILING PLAN LEGEND**
- GYPSUM BOARD
  - EXISTING CEILING GRID WITH NEW ARMSTRONGS ACOUSTIC CEILING TILES
  - 1X4 T AND G SOFFIT
  - LUMINAIRE
    - BLANK CIRCLE IN LUMINAIRE NOT ON AN EMERGENCY CIRCUIT
    - SOLID FILLED CIRCLE IN LUMINAIRE ON AN EMERGENCY CIRCUIT
  - WALL-MOUNT SCOFF
  - UNDER CABINET / SURFACE MOUNTED FLUORESCENT
  - RECESSED FLUORESCENT
  - SUSPENDED FLUORESCENT
  - LED ROPE LIGHT
  - L-1 TRUE GROVE UNIER FLUORESCENT
  - L-2 RECESSED FLORESCENT, LITHONIA - 2AV Q 3 32MDRMVOLT1
  - L-3 CAN LIGHT: HALO 6" IC RATED CAN LIGHT
  - L-4 BATHROOM WALL SCOFF
  - L-5 SURFACE MOUNTED FLUORESCENT
  - L-6 SURFACE MOUNTED FLUORESCENT
  - L-7 FLUORESCENT UNDER CABINET LIGHT
  - L-8 LARGE PENDENT
  - L-9 FLUSH MOUNTED DOWN LIGHTS
  - L-10 LED ROPE LIGHT
  - L-11 EXIT SIGN: LITHONIA - EOG LED M6
  - L-12 EGRESS LIGHT: LITHONIA - ELA T Q
  - L-13 SUSPENDED LIGHT - LITHONIA LIGHTING 1233 NARROW REFLECTOR SHOP LIGHT OR SIMILAR
  - L-14 TRUE GROVE UNIER FLUORESCENT SUSPENDED LIGHT

D1  
A-250  
ENLARGED GROUND FLOOR REFLECTED CEILING PLAN - SUITE 1  
SCALE: 1/8" = 1'-0"

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**HIGH STREET BUILDING ALTERATIONS**

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22E31A50030

**BID DOCUMENTS**

REFLECTED CEILING PLAN

PROJECT NO.: 2940-15  
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**A-250**



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HIGH STREET BUILDING  
ALTERATIONS

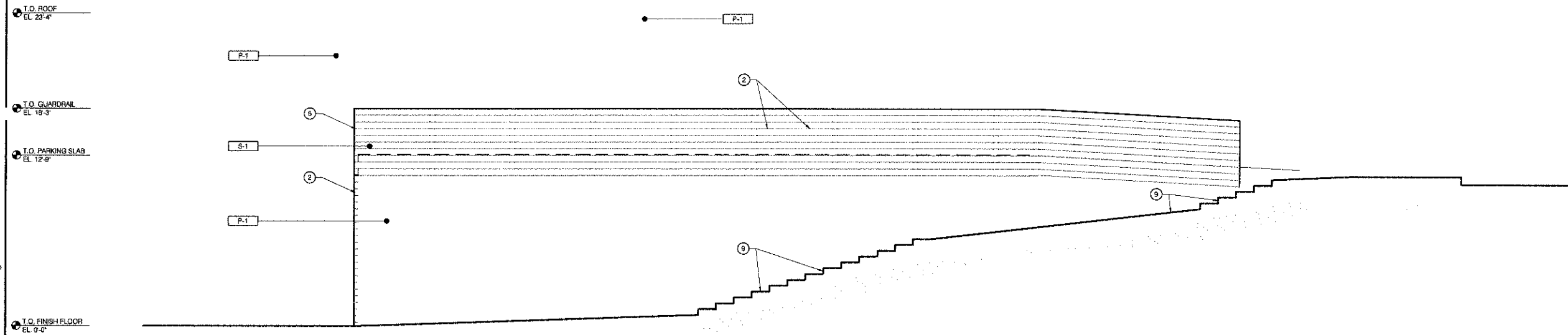
615 HIGH ST. OREGON CITY OR 97045  
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EXTERIOR ELEVATION  
AND SCHEDULES

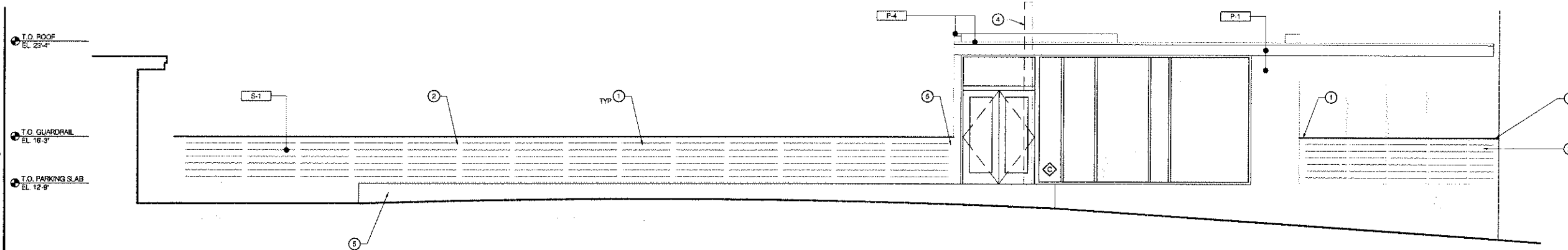
PROJECT NO.: 2940-15  
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A-300

BID DOCUMENTS



B1 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



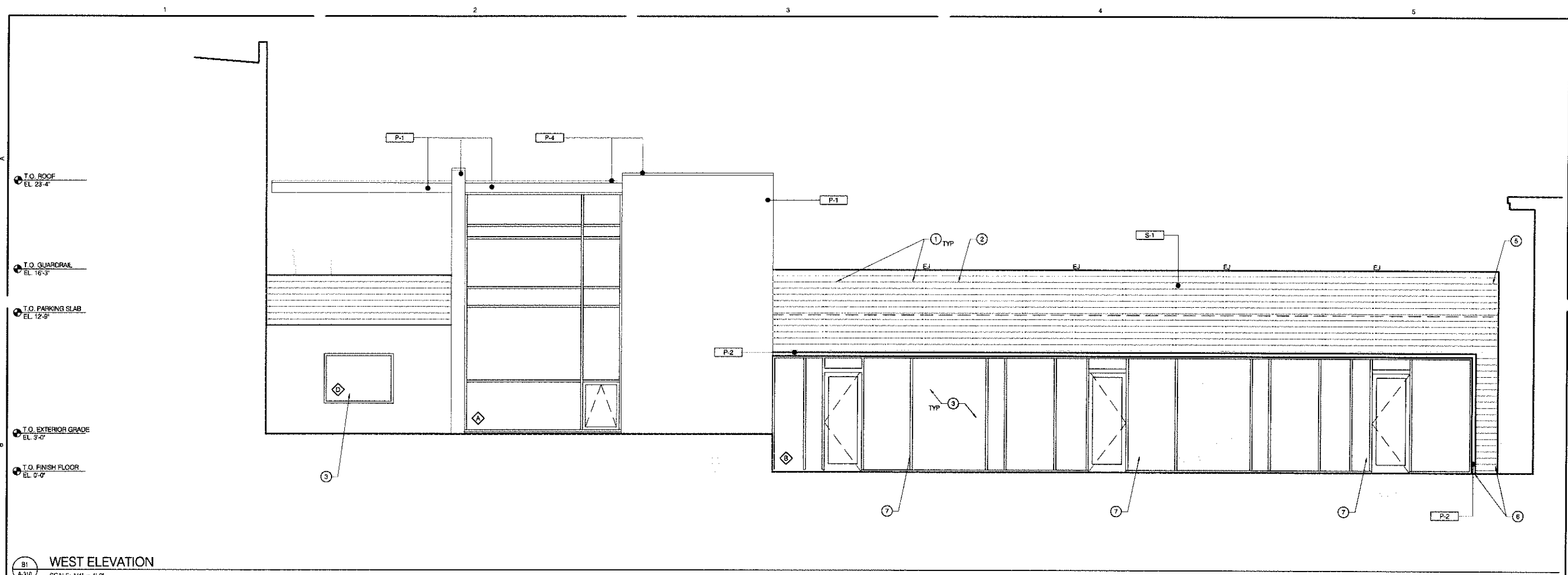
C1 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH LEGEND

	GLAZING
	GROUND / ADJACENT BUILDING
	SHERWIN WILLIAMS, MULTI-SURFACE ACRYLIC COATING - IRON ORE, EGGSHELL SHEEN
	SHERWIN WILLIAMS, MULTI-SURFACE ACRYLIC COATING - BLACK, GLOSS SHEEN
	STORM, SEMI SOLID STAIN - NATURAL LIGHT

ELEVATION KEYNOTES

1. NEW POST, TYP
2. NEW 2X6 CEDAR GUARDRAIL
3. NEW STORE FRONT WINDOW SYSTEM
4. EXISTING SIGN, PAINT P-3
5. PAINT EXISTING PLANTER, P-3
6. 4X FURRING
7. NEW 2X6 CEDAR OVER EXISTING WALLS NOT SHOWN FOR CLARITY
8. LOCATION OF STRUCTURAL COLUMN BEHIND STOREFRONT
9. POWER WASH EXISTING STAIRS



#### EXTERIOR FINISH LEGEND

	GLAZING
	GROUND / ADJACENT BUILDING
	SHERWIN WILLIAMS, MULTI-SURFACE ACRYLIC COATING - GREEN BLACK SW6994, EGGSHELL SHEEN
	SHERWIN WILLIAMS, MULTI-SURFACE ACRYLIC COATING - BLACK, GLOSS SHEEN
	SHERWIN WILLIAMS, MULTI-SURFACE ACRYLIC COATING - WESTCHESTER GRAY SW2849, EGGSHELL SHEEN
	WHITE - EXISTING CAP FLASHING - DO NOT PAINT
	STORM, SEMI SOLID STAIN - NATURAL LIGHT

#### ELEVATION KEYNOTES

1. NEW POST, TYP
2. NEW 2X6 CEDAR GUARDRAIL
3. NEW STORE FRONT WINDOW SYSTEM
4. EXISTING SIGN, PAINT P-3
5. PAINT EXISTING PLANTER, P-3
6. 4X FLOORING
7. NEW 2X6 CEDAR OVER EXISTING WALLS NOT SHOWN FOR CLARITY
8. LOCATION OF STRUCTURAL COLUMN BEHIND STOREFRONT

NOT FOR  
CONSTRUCTION

## HIGH STREET BUILDING ALTERATIONS

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## EXTERIOR ELEVATION AND SCHEDULES

PROJECT NO.: 2940-15  
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A-310

BID DOCUMENTS

NOT FOR  
CONSTRUCTION

HIGH STREET BUILDING  
ALTERATIONS

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22E314800200

BUILDING SECTIONS

BID DOCUMENTS

PROJECT NO.: 2940-15  
DRAWN BY:  
DATE: JUNE 29, 2015

A-400

T.O. ROOF  
EL. 23'-4"

T.O. GUARDRAIL  
EL. 16'-3"

T.O. PARKING SLAB  
EL. 12'-9"

B.O. PARKING SLAB  
EL. 11'-6"

T.O. SLAB  
EL. 0'-0"

B1  
A-400  
SECTION 1  
SCALE: 1/4" = 1'-0"

T.O. ROOF  
EL. 23'-4"

T.O. GUARDRAIL  
EL. 16'-3"

T.O. PARKING SLAB  
EL. 12'-9"

B.O. PARKING SLAB  
EL. 11'-6"

T.O. SLAB  
EL. 0'-0"

D1  
A-400  
SECTION 2  
SCALE: 1/4" = 1'-0"

SECTION KEYNOTES

1. BUILDING FACE BEYOND
2. NEW WOOD SLAT SCREENING OVER EXISTING FENCE 48" AFF
3. EXISTING GRADE AT CONCRETE
4. EXISTING ROOF CANOPY W/ NEW SOFFIT
5. THICKENED SLABS
6. PEDESTRIAN TRAFFIC COATING
7. VEHICULAR TRAFFIC COATING
8. SLAB ON GRADE
9. EXISTING CONCRETE WALL
10. CLEAN EXISTING TRENCH DRAIN
11. CEDAR GUARD RAIL
12. EXISTING ROOF WITH NEW SOFFIT
13. WOOD ACCENT WALL OVER CONCRETE
14. EXISTING CONCRETE BEAM
15. FUR OUT EXTERIOR WALL(S). SEE WALL TYPE
16. NEW RIGID INSULATION WHERE OCCURS
17. EXTERIOR STAIRS POWER WASH
18. EXTERIOR COURTYARD TO REMAIN

NOTE: NOT ALL NOTES ARE USED ON THIS PAGE



NOT FOR  
CONSTRUCTION

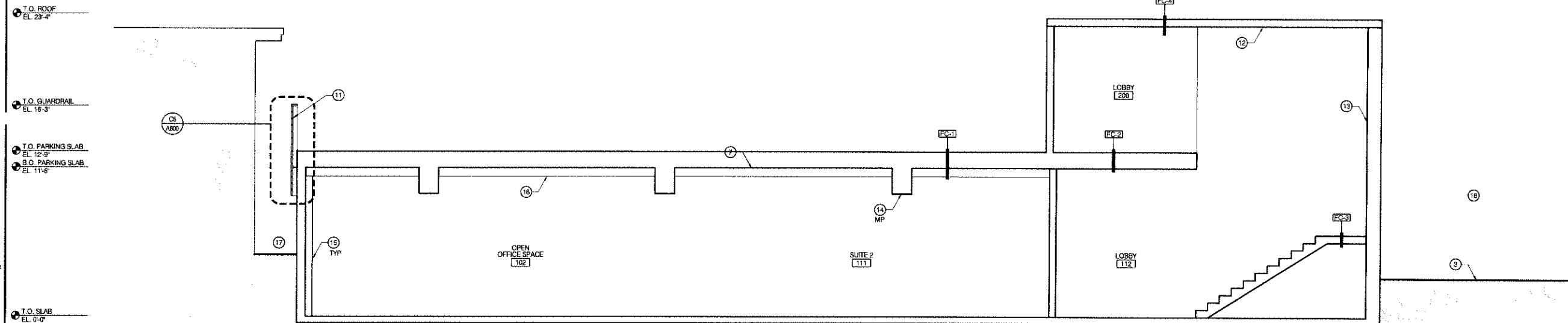
HIGH STREET BUILDING  
ALTERATIONS

615 HIGH ST., OREGON CITY, OR 97045  
22ESTAB00200

BUILDING SECTION

PROJECT NO.: 2940-15  
DRAWN BY:  
DATE: JUNE 29, 2015

A-410

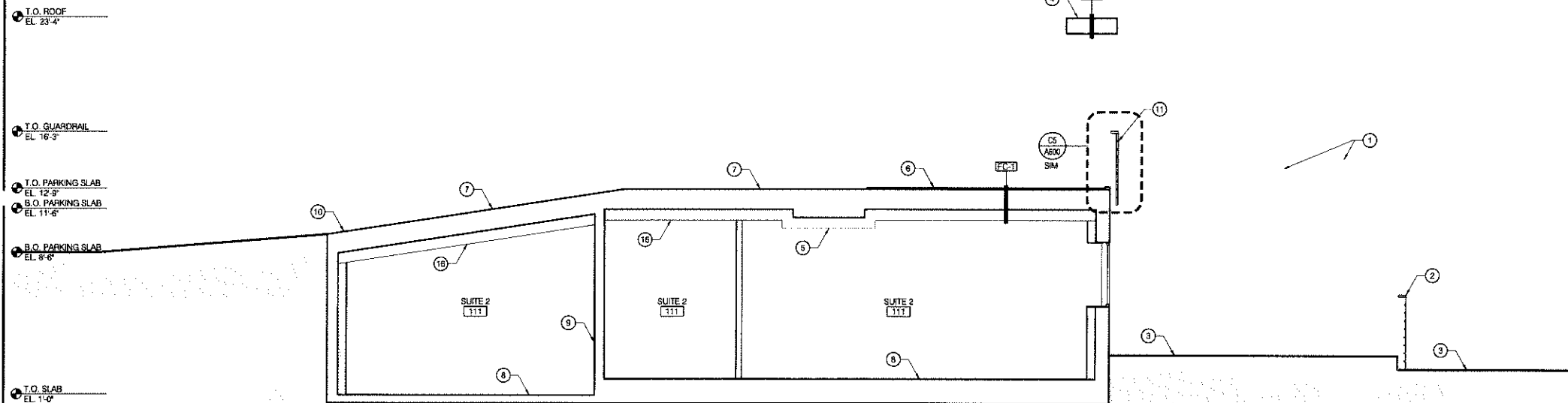


B1 SECTION 3  
A-410 SCALE: 1/4" = 1'-0"

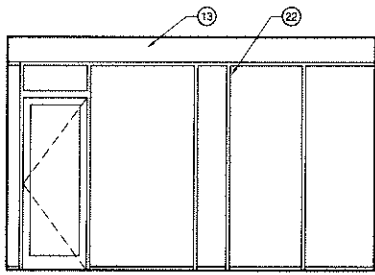
SECTION KEYNOTES

1. BUILDING FACE BEYOND
2. NEW WOOD SLAT SCREENING OVER EXISTING FENCE 48" AFF
3. EXISTING GRADE AT CONCRETE
4. EXISTING ROOF CANOPY W/ NEW SOFFIT
5. THICKENED SLABS
6. PEDESTRIAN TRAFFIC COATING
7. VEHICULAR TRAFFIC COATING
8. SLAB ON GRADE
9. EXISTING CONCRETE WALL
10. CLEAN EXISTING TRENCH DRAIN
11. CEDAR GUARD RAIL
12. EXISTING ROOF WITH NEW SOFFIT
13. WOOD ACCENT WALL OVER CONCRETE
14. EXISTING CONCRETE BEAM
15. FUR OUT EXTERIOR WALL(S), SEE WALL TYPE
16. NEW RIGID INSULATION WHERE OCCURS
17. EXTERIOR STAIRS POWER WASH
18. EXTERIOR COURTYARD TO REMAIN

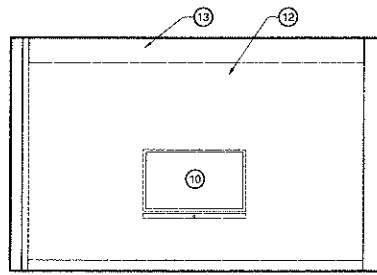
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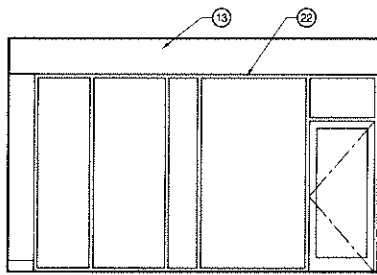
B1 SECTION 4  
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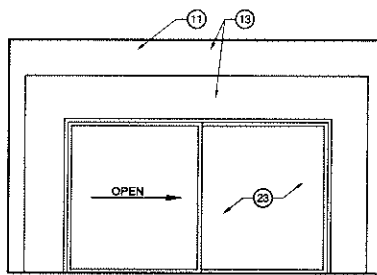
A



B

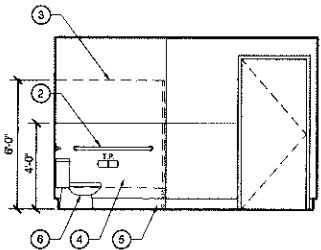


C

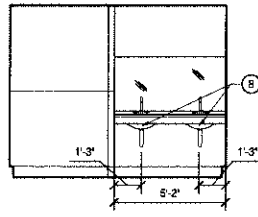


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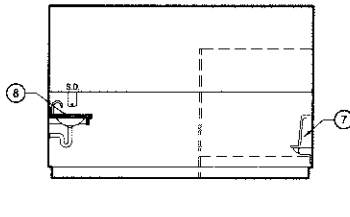
A1  
A-500  
INTERIOR ELEVATIONS ROOM 100 - LOBBY  
SCALE: 1/4" = 1'-0"



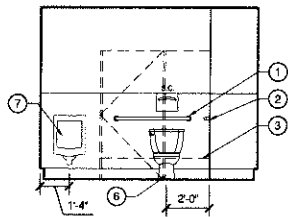
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B

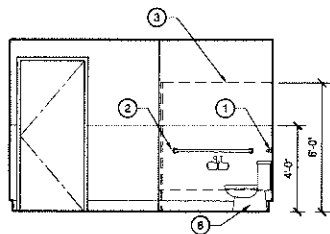


C

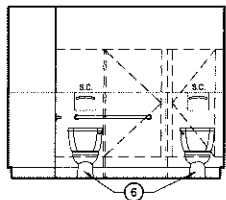


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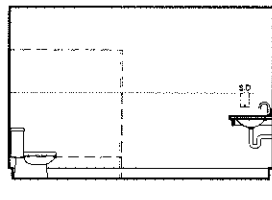
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A-500  
INTERIOR ELEVATIONS ROOM 105 - MENS RESTROOM  
SCALE: 1/4" = 1'-0"



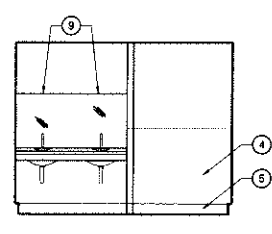
A



B

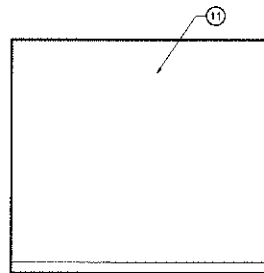


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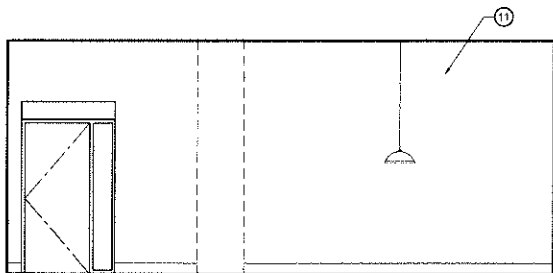


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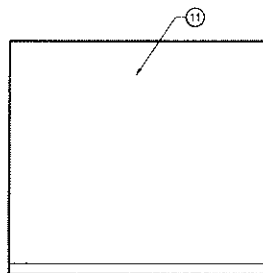
C1  
A-500  
INTERIOR ELEVATIONS ROOM 106 - WOMENS RESTROOM  
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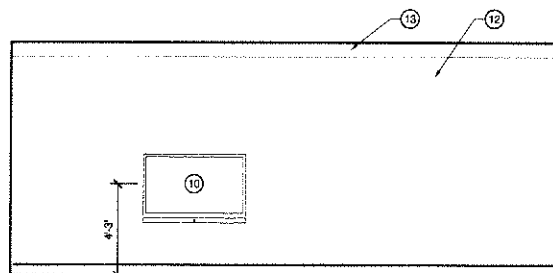
A



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C



D

D1  
A-500  
INTERIOR ELEVATIONS ROOM 103 - CONFERENCE ROOM  
SCALE: 1/4" = 1'-0"

## INTERIOR ELEVATIONS KEYED NOTES

- 36" GRAB BAR
- 42" GRAB BAR
- TOILET PARTITION METAL
- P. LAM WAINSCOTING
- 6" RUBBER BASE
- ADA TOILET HANDEL AWAY FROM NEAR WALL
- URINAL
- UNDER COUNTER SINK
- FRAMED MIRROR
- TV. PROVIDE POWER AN DATA @ 50" AFF
- SAND BLAST AND SEAL CONCRETE WALL
- WOOD ACCENT WALL
- GYPSUM WALL BOARD
- TENSION CABLE
- LED ROPE LIGHT BEHIND ACCENT WALL
- STORE FRONT WINDOW
- OPEN TO BEYOND
- HANDRAIL 36" AFF / LEADING EDGE
- PAINTED RIGID INSULATION
- 4" RUBBER BASE
- EXISTING VENT
- NEW TIMELY WINDOW SYSTEM
- NEW SLIDING DOOR
- STORE FRONT WINDOW SYSTEM

Greenbox  
1302 JOHN ADAMS STREET, SUITE 108  
OREGON CITY, OREGON 97045

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HIGH STREET BUILDING  
ALTERATIONS

615 HIGH ST. OREGON CITY OR 97045  
22/31/AB0200

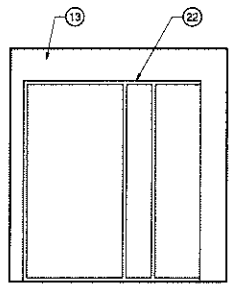
INTERIOR ELEVATIONS

BID DOCUMENTS

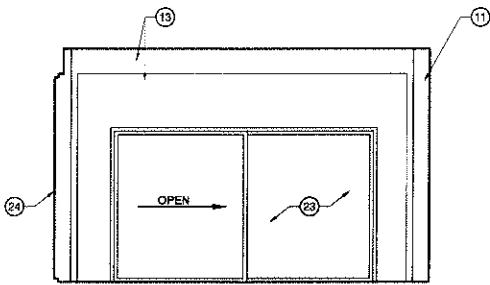
PROJECT NO. 2940-15  
DRAWN BY  
DATE JUNE 29, 2015

A-500

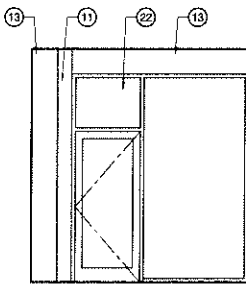




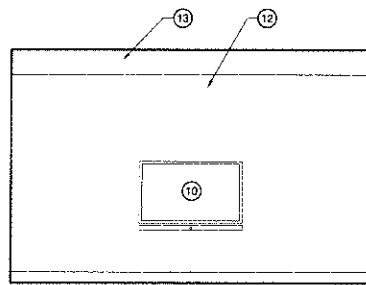
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B



C

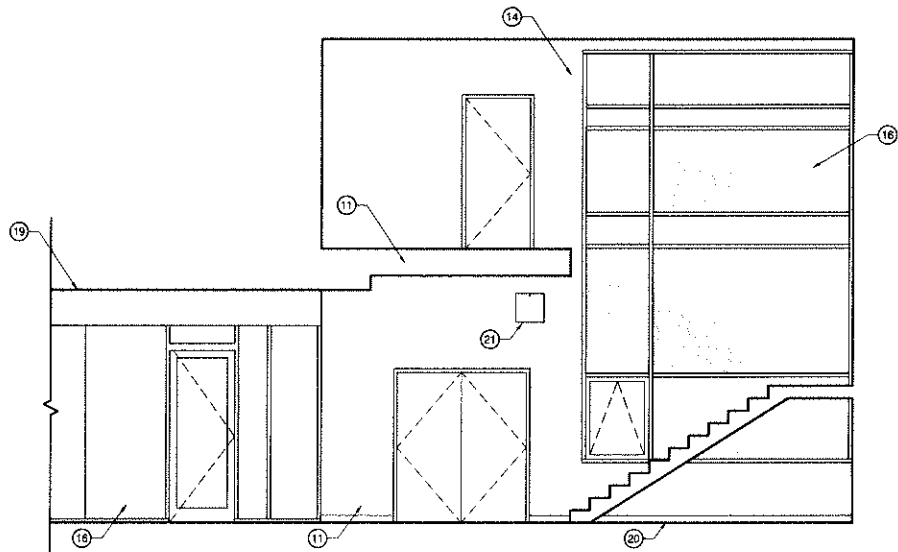


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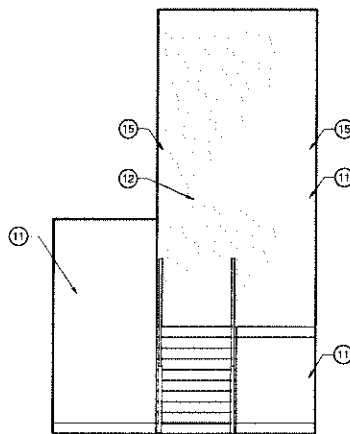
# INTERIOR ELEVATIONS KEYED NOTES

- 36" GRAB BAR
- 42" GRAB BAR
- TOILET PARTITION METAL
- P. LAM WANSICOATING
- 6" RUBBER BASE
- ADA TOILET HANDEL AWAY FROM NEAR WALL
- URINAL
- UNDER COUNTER SINK
- FRAMED MIRROR
- TV. PROVIDE POWER AN DATA @ 50" AFF
- SAND BLAST AND SEAL CONCRETE WALL
- WOOD ACCENT WALL
- GYPSUM WALL BOARD
- TENSION CABLE
- LED ROPE LIGHT BEHIND ACCENT WALL
- STORE FRONT WINDOW
- OPEN TO BEYOND
- HANDRAIL 36" AFF / LEADING EDGE
- PAINTED RIGID INSULATION
- 4" RUBBER BASE
- EXISTING VENT
- NEW TIMELY WINDOW SYSTEM
- NEW SLIDING DOOR
- STORE FRONT WINDOW SYSTEM

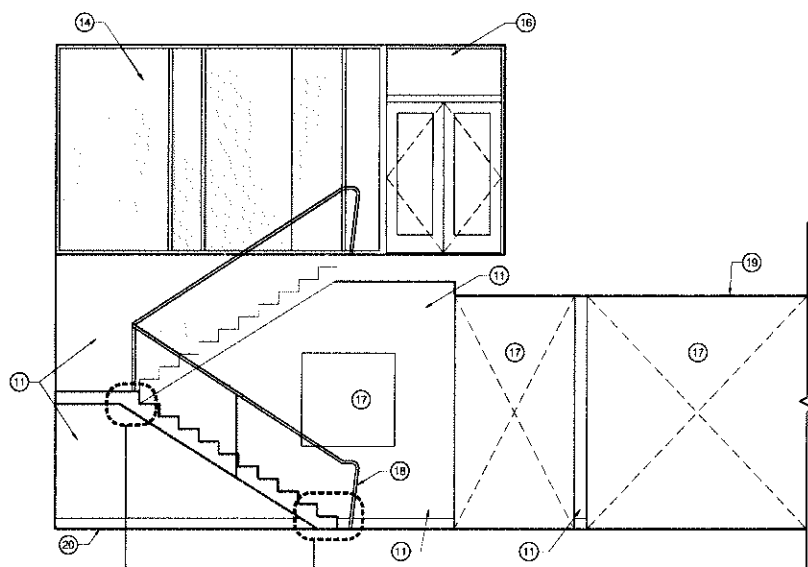
A1  
A-510  
SCALE: 1/4" = 1'-0"



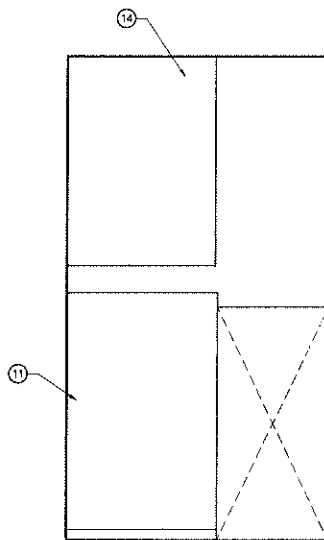
A



B



C



D

D1  
A-510  
SCALE: 1/4" = 1'-0"

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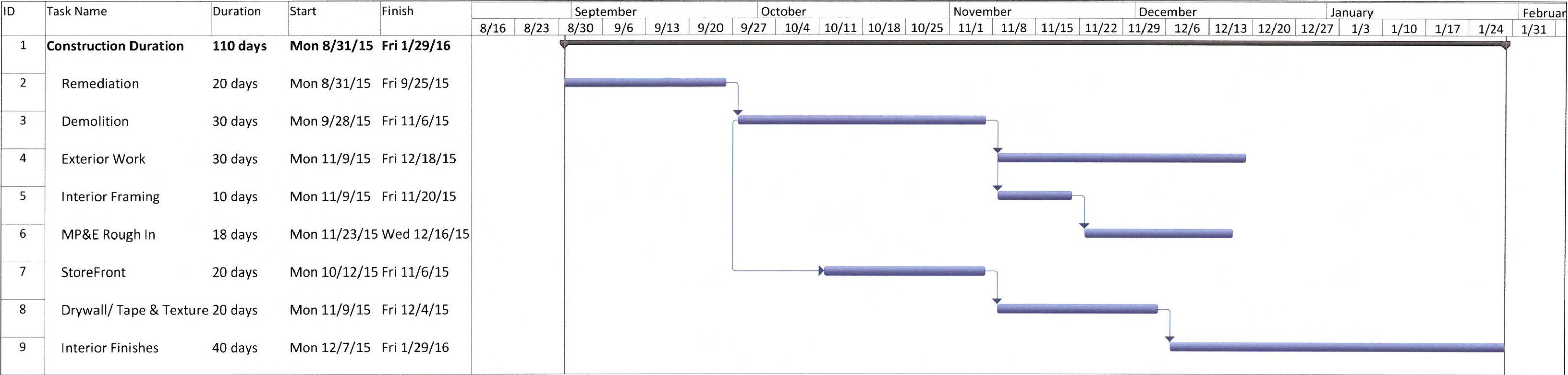
615 HIGH ST., OREGON CITY, OR 97045  
22031AB0200

INTERIOR ELEVATIONS

PROJECT NO.: 2940-15  
DRAWN BY:  
DATE: JUNE 29, 2015

A-510

BID DOCUMENTS



Project: 615 High Street Date: Mon 7/13/15	Task		Project Summary		Inactive Milestone		Manual Summary Rollup		Deadline	
	Split		External Tasks		Inactive Summary		Manual Summary		Progress	
	Milestone		External Milestone		Manual Task		Start-only			
	Summary		Inactive Task		Duration-only		Finish-only			