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Date: Dec. 29, 2014

## Narrative Statement Historic Review Application

RE: 419 Blanchard St., Oregon City, OR (a guess on the address)  
Cross Street: 5th Ave.

Proposal: 2,600 SF SFR

This narrative supports the approval of a land use review to allow the construction of a single family building on an existing “highly constrained” lot of record.

Owner Applicant: Ron and Debbie Bistline (owner)  
503-396-2316 (Ron)

Architect / Owner Rep: Gregg Creighton, Creighton Architecture  
252 A Ave. Suite 300  
Lake Oswego, OR 97034  
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Applicable Zoning Code Sections and Guidelines:  
Oregon City Municipal Code (OCMC)  
Historic Overlay District (OCMC 17.40)  
Guidelines for New Construction (Canemah National Historic District)  
(dated Sept 2006)

This application contains the following:

HRB Application  
This Narrative  
Photographic Collection  
Architectural Drawings  
Materials Board (20” x 30”)  
Digital Version of Materials board (jpg)  
Pre-App meeting Notes  
Mailing Labels within 300’ of project site

Property ID: C15062

State ID: T3S-R1E-01AA-TL3500

Lots 5 & 6, Block 13, "Canemah Plat #6"

Site Area: 9,583 square feet (both lots, .22 acres total)

ALT ID: R00743253

Existing Conditions: sloping lot, vacant

Zoning: R-6

Discussion: The site lies at 5<sup>th</sup> & Blanchard in the Canemah National Historic District. It is bordered on the North, South, East and West by R6 zoning.

**PRIMARY CONTEXT:** (within 300 feet)

- 1) To the North (716 4<sup>th</sup> Ave) A recently remodeled cottage style home (non historic) Downhill from the subject property. This home is on TL2700, across which an easement (the new driveway) will go.
- 2) To the NW (807 4<sup>th</sup> Ave) 60's era rancher (non historic)
- 3) To the NE (702 4<sup>th</sup> Ave.) Davis House, a **primary** historic structure.  
Vernacular Style
- 4) To the North (707 4<sup>th</sup> Ave.) Draper House (1876), a **primary** historic structure  
Vernacular Style
- 5) To the South (undeveloped 5<sup>th</sup> Ave. ) city-owned ROW (uphill & adjacent to site)
- 6) To the West (804 4<sup>th</sup> Ave) recently remodeled contemporary home (non historic)
- 7) To the West (across Blanchard St) a vacant lot that is between 803 4<sup>th</sup> Ave and the Nutall House. I believe this lot belongs to the Nutall property. (Oscar is current owner)
- 8) To the SW (903 5<sup>th</sup> Ave.) Nutall House (1900) a **primary** historic structure  
Vernacular Style
- 9) To the SW (802 5<sup>th</sup> Ave.) 70's era split entry style home (not historic)

**SECONDARY CONTEXT:** (greater than 300 feet)

To the NE (502 4<sup>th</sup> Ave. ) Caseday House (1867) a primary historic structure)  
Vernacular Style

To the NE (207 4<sup>th</sup> Ave.) Toole House (1910) non-contributing , secondary  
Vernacular Style

To the East (211 5<sup>th</sup> Ave. ) Graves / Gill / Edgar House (1889) a historic structure  
Vernacular Style

To the NW (302 Blanchard St. ) Critic House (1910) a historic structure  
(Bungalo Style)

## Proposal Description:

The applicant seeks design review approval for a proposal to construct a new single family home on a corner site that is currently 9,583 square feet. The site is adjacent to an existing 1-story single family home located at 716 4<sup>th</sup> Avenue. Access to TL 3500 is problematic due to topography and a natural resource (stream) that runs through the property.

The owner has secured an access easement across TL2700 (716 4<sup>th</sup> Ave) to get to the new site. (See site plans) There is already a vehicular access to 4<sup>th</sup> Ave at the NE corner of TL2700. We will improve that access point and build a new driveway in the easement area. There are no curbs .

By code definition, the proposed structure is a 2-story with basement design. The home will face Blanchard Street and its address will be on Blanchard as well. The main entry is on the Blanchard Street elevation and will be accessed by a walkway from the driveway area on the north side of the home.

STYLES: Regional Vernacular  
(sim to the historic Davis and Nutall houses)

## Historic Review Approval Criteria (OCMC 17.40)

Applicable Sections requiring written response

Chapter 17.40.010– Purpose

Chapter 17.40.030 - Designated

Chapter 17.40.040– Citizen Involvement

Chapter 17.40.060 – Exterior Alteration and New Construction

Chapter 17.40.065 – Historic preservation incentives (not applicable)

Chapter 17.40.070 – Demolition and Moving (not applicable)

## Chapter 17.40 HISTORIC OVERLAY DISTRICT

*Sections:*

[17.40.010 Purpose.](#)

[17.40.030 Designated.](#)

[17.40.040 Citizen involvement.](#)

[17.40.050 Designation procedure—Application—Review.](#)

[17.40.060 Exterior alteration and new construction.](#)

[17.40.065 Historic preservation incentives.](#)

[17.40.070 Demolition and moving.](#)

**17.40.010 Purpose.**

It is declared as a matter of public policy that the protection, enhancement, perpetuation and use of improvements of special character or special historical or aesthetic interest or value is a public necessity and is required in the interest of the health, prosperity, safety and welfare of the people. The purpose of this chapter is to:

- A. Effect and accomplish the protection, enhancement and perpetuation of such improvements and of districts which represent or reflect elements of the city's cultural, social, economic, political and architectural history;
- B. Safeguard the city's historic, aesthetic and cultural heritage as embodied and reflected in such improvements and districts;
- C. Complement any National Register Historic districts designated in the city;
- D. Stabilize and improve property values in such districts;
- E. Foster civic pride in the beauty and noble accomplishments of the past;
- F. Protect and enhance the city's attractions to tourists and visitors and the support and stimulus to business and industry thereby provided;
- G. Strengthen the economy of the city;
- H. Promote the use of historic districts and landmarks for the education, pleasure, energy conservation, housing and public welfare of the city; and
- I. Carry out the provisions of LCDC Goal 5.

(Ord. No. 08-1014, §§ 1—3(Exhs. 1—3), 7-1-2009; Ord. No. 10-1003, § 1(Exh. 1), 7-7-2010)

***Applicant's Response:*** The applicant understands the role and goals of the HRB and will cooperate to achieve those goals with respect to this project.

### **17.40.030 Designated.**

A. The historic overlay district shall apply to the following:

1. Historic districts, upon designation in accordance with this section;
2. Conservation districts designated in accordance with this section;
3. Landmarks as designated by this section; and
4. Historic corridors designated in accordance with this section.

B. The boundaries of the historic districts, the boundaries of conservation districts, historic corridors, the location of buildings and structures in conservation districts and the location of landmarks shall be designated on a special city zoning map or maps.

C. The following are designated within the historic overlay district:

1. The Canemah Historic District; the minimum boundaries of which are those designated by the United States Department of the Interior on the National Register of Historic Places as indicated in the city comprehensive plan.
2. The McLoughlin Conservation District (MCD); the surveyed buildings indicated by map in the comprehensive plan shall constitute the designated structures in the McLoughlin Conservation District, along with any structures designated through the Historic Review Board designation process since initial adoption of the comprehensive plan on March 13, 1980.
3. The Oregon Trail-Barlow Road Historic Corridor: properties identified in the 1993 Barlow Road Historic Corridor inventory of the Barlow Road by Clackamas County.
4. Designations undertaken pursuant to [Section 17.40.050](#). The established historic overlay district shall allow for the designation of two types of districts so that areas with a high concentration of historic structures are designated historic districts and areas with a lower concentration are designated conservation districts. Also allowed is the designation of structures of historic or architectural significance not located in a historic or conservation district as landmarks.

(Ord. No. 08-1014, §§ 1—3(Exhs. 1—3), 7-1-2009; Ord. No. 10-1003, § 1(Exh. 1), 7-7-2010)

***Applicant's Response:*** The applicant has reviewed the Canemah Historic District (CHD) boundaries and understands its significance to the board and the community. The property DOES fall within the boundaries of the CHD.

#### **17.40.040 Citizen involvement.**

A. The planning department shall be authorized to incur expenses in holding public workshops in the historic districts and conservation districts, distribute written information, show slides and answer questions on remodeling and rehabilitation of older buildings, and to educate the public in the need to comply with state and federal laws protecting or encouraging protection of antiquities and other related matters concerning historic preservation.

B. Citizens making applications for district or landmark designations or for exterior alterations or new construction in an historic or conservation district, and historic corridor or on a landmark site may consult with and receive advice from the planning department staff concerning their applications.

(Ord. No. 08-1014, §§ 1—3(Exhs. 1—3), 7-1-2009; Ord. No. 10-1003, § 1(Exh. 1), 7-7-2010)

***Applicant's Response:*** The applicant understands the role of citizen involvement and the role of the planning department in their assistance with development in the CHD.

#### **17.40.050 Designation procedure—Application—Review.**

A. Institution of Proceedings. The city commission, the planning commission, the historic review board, a recognized neighborhood group or any interested person may initiate the proceedings for designation of an historic or conservation district, landmark, or historic corridor as follows:

1. The city commission or the historic review board may initiate designation proceedings by sending a written proposal or application to the planning staff. Such proposal is not subject to any minimal information requirements other than a description of the boundaries of the area to be designated.

2. Any interested person or recognized neighborhood group may start designation proceedings by sending a written application to the planning staff.

B. Application Information. The planning staff may specify the information required in an application and may from time to time change the content of that information, but at all times the planning staff shall require the following information:

1. The applicant's name and address;

2. The owner's name and address, if different from the applicant;

3. A description of the boundaries of the proposed district or a description of the proposed landmark;

4. A map illustrating the boundaries of the proposed district or the location of the proposed landmark;

5. A statement explaining the following:

a. The reasons why the proposed district or landmark should be designated,

b. The reason why the boundaries of the proposed district are adequate and suitable for designation,

c. The positive and negative effects, if any, which designation of the proposed district or landmark would have on the residents or other property owners of the area.

C. The planning staff shall deliver a proposal or an application for the designation to the historic review board within thirty days after the day on which a proposal or application is received. The historic review board shall review the proposal on the application and prepare a written recommendation or decision approving or rejecting the proposed designation.

D. In preparing the recommendation or decision, the historic review board shall limit its review to:

1. Whether the proposed district or landmark would serve the purpose of the historic overlay district as stated in [Section 17.40.010](#); and

2. Conformity with the purposes of the city comprehensive plan.

E. City Commission Review of District.

1. The historic review board shall deliver a copy of its recommendation to the city commission within thirty days.

2. The city commission shall hold a public hearing pursuant to procedures contained in [Chapter 17.68](#)

3. After the hearing, the city commission may engage in one of the following actions:

a. Refuse to designate the proposed district; or

b. Designate the proposed district by a duly enacted ordinance; or

c. Remand the matter to the historic review board for additional consideration of a specific matter or matters.

4. The city commission may limit itself to the proposed district, and as so modified, approve it. Enlargement of the proposed district shall require additional notice and public hearing. The commission may hold such hearing or hearings.

5. The approval or disapproval of the designation by the city commission shall be in writing and shall state the reasons for approval or disapproval.

6. Amendment or Rescission. The district designation may be amended or rescinded after the board and city commission have utilized the same procedures required by this title for establishment of the designation. The board shall give priority to designation of potential districts and landmarks indicated in the city comprehensive plan.

(Ord. No. 08-1014, §§ 1—3(Exhs. 1—3), 7-1-2009; Ord. No. 10-1003, § 1(Exh. 1), 7-7-2010)

***Applicant's Response:*** Does not apply. We are not applying for historic designation of any kind.

#### **17.40.060 Exterior alteration and new construction.**

A. Except as provided pursuant to subsection I of this section, no person shall alter any historic site in such a manner as to affect its exterior appearance, nor shall there be any new construction in an historic district, conservation district, historic corridor, or on a landmark site, unless a certificate of appropriateness has previously been issued by the historic review board. Any building addition that is thirty percent or more in area of the historic building (be it individual or cumulative) shall be considered new construction in a district. Further, no major public improvements shall be made in the district unless approved by the board and given a certificate of appropriateness.

B. Application for such a certificate shall be made to the planning staff and shall be referred to the historic review board. The application shall be in such form and detail as the board prescribes.

C. Archeological Monitoring Recommendation. For all projects that will involve ground disturbance, the applicant shall provide,

1. A letter or email from the Oregon State Historic Preservation Office Archaeological Division indicating the level of recommended archeological monitoring on-site, or demonstrate that the applicant had notified the Oregon State Historic Preservation Office and that the Oregon State Historic Preservation Office had not commented within forty-five days of notification by the applicant; and

2. A letter or email from the applicable tribal cultural resource representative of the Confederated Tribes of the Grand Ronde, Confederated Tribes of the Siletz, Confederated Tribes of the Umatilla, Confederated Tribes of the Warm Springs and the Confederated Tribes of the Yakama Nation indicating the level of recommended



archeological monitoring on-site, or demonstrate that the applicant had notified the applicable tribal cultural resource representative and that the applicable tribal cultural resource representative had not commented within forty-five days of notification by the applicant.

If, after forty-five days notice from the applicant, the Oregon State Historic Preservation Office or the applicable tribal cultural resource representative fails to provide comment, the city will not require the letter or email as part of the completeness review. For the purpose of this section, ground disturbance is defined as the movement of native soils.

D.[1.] The historic review board, after notice and public hearing held pursuant to [Chapter 17.50](#), shall approve the issuance, approve the issuance with conditions or disapprove issuance of the certificate of appropriateness.

2. The following exterior alterations to historic sites may be subject to administrative approval:

a. Work that conforms to the adopted Historic Review Board Policies.

E. For exterior alterations of historic sites in an historic district or conservation district or individual landmark, the criteria to be used by the board in reaching its decision on the certificate of appropriateness shall be:

1. The purpose of the historic overlay district as set forth in [Section 17.40.010](#)
2. The provisions of the city comprehensive plan;
3. The economic use of the historic site and the reasonableness of the proposed alteration and their relationship to the public interest in the structure's or landmark's preservation or renovation;
4. The value and significance of the historic site;
5. The physical condition of the historic site;
6. The general compatibility of exterior design, arrangement, proportion, detail, scale, color, texture and materials proposed to be used with the historic site;
7. Pertinent aesthetic factors as designated by the board;
8. Economic, social, environmental and energy consequences; and
9. Design guidelines adopted by the historic review board.

F. For construction of new structures in an historic or conservation district, or on an historic site, the criteria to be used by the board in reaching its decision on the certificate of appropriateness shall include the following:

1. The purpose of the historic conservation district as set forth in [Section 17.40.010](#)
2. The provisions of the city comprehensive plan;
3. The economic effect of the new proposed structure on the historic value of the district or historic site;
4. The effect of the proposed new structure on the historic value of the district or historic site;
5. The general compatibility of the exterior design, arrangement, proportion, detail, scale, color, texture and materials proposed to be used in the construction of the new building or structure;
6. Economic, social, environmental and energy consequences;
7. Design guidelines adopted by the historic review board.

***Applicant's Response:*** I am now familiar with the purpose and goals of the CHD. I have read the comprehensive plan with respect to the CHD and embrace the history of the area. It's an honor to have the opportunity to build something in the district. We hope to make a substantial contribution to the area while respecting the inventory of historic homes in Canemah. We will also strive to minimize any negative impacts. By building in Canemah (as opposed to other less difficult areas of Oregon City), we hope to raise awareness in the history of Oregon City and the birthplace of industry for the entire Northwest.

While in college, I was a teacher's assistant (TA) for architectural history courses for 2 years. I've always enjoyed history and especially architectural history. I believe this gives me an edge in the design of structures that will be compatible when viewed amongst the truly historic buildings in the district. Before I even read the Guidelines, I had a good idea what this building should look like.

I believe the proposed structure will enhance the historic value of the district. We hope that seeing a new home built will encourage others to do the same and others to renovate homes in Canemah.

Residential styles of the period (1860-1910) were simplistic designs with compact floor plans and gable roofs. In the district, this style is known as "Vernacular". In reality, Vernacular styles look very different in other parts of the country. It simply means "local style". Money wasn't easy to come by in the early days. Most of the surviving homes in

Canemah were built by people who had more of it, relatively speaking. The working class had residences that didn't stand the test of time.

The proposed building has the important features found in the style. The photographs included with this application allows the viewer to compare the elements listed below with historic structures on 4<sup>th</sup> Avenue and in other parts of Canemah.

- \* Steeply pitched Gable roof (primary roof form) with 1.5 story look (pg. 40 Guidelines)
- \* Primary and Secondary massing to give appearance of rectangular additions (pg. 40)
- \* Covered porch with low sloped roof (pg. 36)
- \* Windows - Hung-style windows in separate openings (in pairs or separated)
- \* Doors - Stile and Rail wooden or clad exterior doors (pg. 55)
- \* Colors - traditional and historic colors (2; blue-grey and white trim) pg. 56
- \* Siding - lap or shiplap siding with narrow exposure to weather
- \* Proportion - similar proportion, rhythm and balance as other Vernacular designs in Oregon City (pg. 44)
- \* Porch Decking – Due to waterproofing needs, we propose to use a “traffic topping” over marine grade plywood. (light grey) This surface will not be visible from the street. The viewing angle and distance from the street will prohibit discernment on type and color.
- \* Symmetry & Asymmetry - The proposed design utilizes both with a pleasing, balanced composition of roofs, doors, windows and wall planes. (pg. 43)
- \* Projections – There is a roof change and depth change in the center of the Blanchard Street elevation. There is also a roof and depth change at the 4<sup>th</sup> Ave. (left) elevation.
- \* Details. – Window and door trim, fascia boards and frieze boards will all be historically compatible. All trim will be wood with a smooth, painted finish.
- \* Textures - textures will be modest; fiber-cement lap siding (smooth) , composition roofing makes up the basic texture palette.

END

G. For construction of new structures in an historic corridor, the criteria to be used by the board in reaching its decision on the certificate of appropriateness shall include the following:

1. The purpose of the historic overlay district as set forth in [Section 17.40.010](#)
2. The policies of the city comprehensive plan;
3. The impact on visible evidence of the trail;
4. The impact on archaeological evidence when there exists documented knowledge of archeological resources on the property;
5. The visual impact of new construction within the historic corridor; and
6. The general compatibility of the site design and location of the new construction with the historic corridor considering the standards of subsection G of this section.

H. The following standards apply to development within historic corridors:

1. Within the Oregon Trail-Barlow Road historic corridor, a minimum of a thirty-foot wide-open visual corridor shall be maintained and shall follow the actual route of the Oregon Trail, if known. If the actual route is unknown, the open visual corridor shall connect within the open visual corridor on adjacent property.
2. No new building or sign construction shall be permitted within required open visual corridors. Landscaping, parking, streets, driveways are permitted within required open visual corridors.

***Applicant's Response:*** Sections G & H do not apply. The project is not located along a historic corridor.

I. In rendering its decision, the board's decision shall be in writing and shall specify in detail the basis therefore.

J. Nothing in this section shall be construed to prevent the ordinary maintenance or repair of any exterior architectural features which does not involve a change in design, material or the outward appearance of such feature which the building official shall certify is required for the public safety because of its unsafe or dangerous condition.

K. The following exterior alterations may be made subject to the administrative procedures as outlined below:

Construction of fences on historic sites.

***Applicant's Response:*** Sections I, J and K do not apply. They govern the board's written decision, alterations and maintenance of designated structures. If there is a portion of these sections that does apply, we are happy to comply.

**Exterior alterations, excluding additions, to incompatible structures in the Canemah Historic District.**

1. A notice of the proposed certificate of appropriateness shall be mailed to the following persons:

a. The applicant;

b. All owners of property within three hundred feet of the property which is the subject of application;

c. A recognized neighborhood association and a citizen involvement committee representative of the neighborhood involved, if the property which is the subject of the application lies wholly or partially within the boundaries of such organization.

2. The failure of the property owner to receive notice shall not invalidate the action if a good faith attempt was made to notify all persons entitled to personal notice.

3. Notice shall also be given by publication in a newspaper of general circulation in the area affected.

4. Within ten days of the issuance of notice of the proposed certificate of appropriateness, any person who has received personal notice pursuant to subdivision 1 of this subsection or who demonstrates sufficient interest in the outcome to participate in such proceedings, as determined by the historic review board, may request a public hearing before the historic review board.

5. Within forty-five days after a request for public hearing is made, a public hearing shall be held before the historic review board following procedures as established in [Chapter 17.50](#)

6. The historic review board shall then deny or approve the application, either with or without conditions, following procedures as established in [Chapter 17.50](#)

7. In the event no request for hearing is filed, the historic review board, through its chairperson and planning staff, shall issue a certificate of appropriateness in accordance with the notice given without further hearing.

8. The board may adopt policies for review of applications of certificates of appropriateness in the historic overlay district. Such policies shall be adopted only after notice and an opportunity to be heard is provided and shall include specific opportunity for comment by the planning staff, the planning commission, and the city commission.

Such policies shall carry out the city's comprehensive plan, especially those elements relating to historic preservation. In the absence of such policies, the board shall apply such elements directly.

(Ord. No. 08-1014, §§ 1—3(Exhs. 1—3), 7-1-2009; Ord. No. 10-1003, § 1(Exh. 1), 7-7-2010)

***Applicant's Response:*** We are seeking a certificate of appropriateness for new construction in the Canemah Historic District (CHD).

#### **17.40.065 Historic preservation incentives.**

A. Purpose. Historic preservation incentives increase the potential for historically designated properties to be used, protected, renovated, and preserved. Incentives make preservation more attractive to owners of locally designated structures because they provide flexibility and economic opportunities.

B. Eligibility for Historic Preservation Incentives. All exterior alterations of designated structures and new construction in historic and conservation districts are eligible for historic preservation incentives if the exterior alteration or new construction has received a certificate of appropriateness from the Historic Review Board per OCMC [17.50.110\(c\)](#).

C. Incentives Allowed. The dimensional standards of the underlying zone as well as for accessory buildings (OCMC [17.54.100](#)) may be adjusted to allow for compatible development if the expansion or new construction is approved through historic design review.

D. Process. The applicant must request the incentive at the time of application to the Historic Review Board.

(Ord. No. 08-1014, §§ 1—3(Exhs. 1—3), 7-1-2009; Ord. No. 10-1003, § 1(Exh. 1), 7-7-2010)

***Applicant's Response:*** Does not apply. We are not eligible for historic status and therefore are not seeking incentives of any kind.

#### **17.40.070 Demolition and moving.**

A. If an application is made for a building or moving permit to demolish or move all or part of a structure which is a landmark or which is located in a conservation district or an historic district, the building inspector shall, within seven days, transmit to the historic review board a copy of the transaction.

B. The historic review board shall hold a public hearing within forty-five days of application pursuant to the procedures in [Chapter 17.50](#)

C. In determining the appropriateness of the demolition or moving as proposed in an application for a building or moving permit, the board shall consider the following:

1. All plans, drawings and photographs as may be submitted by the applicant;
2. Information presented to a public hearing held concerning the proposed work;
3. The city comprehensive plan;
4. The purpose of this section as set forth in [Section 17.40.010](#)
5. The criteria used in the original designation of the landmark or district in which the property under consideration is situated;
6. The historical and architectural style, the general design, arrangement, materials of the structure in question or its fixtures; the relationship of such features to similar features of the other buildings within the district and the position of the building or structure in relation to public rights-of-way and to other buildings and structures in the area;
7. The effects of the proposed work upon the protection, enhancement, perpetuation and use of the district, which cause it to possess a special character or special historic or aesthetic interest or value;
8. Whether denial of the permit will involve substantial hardship to the applicant, and whether issuance of the permit would act to the substantial detriment of the public welfare and would be contrary to the intent and purposes of this section;
9. The economic, social, environmental and energy consequences.

D. The failure of the applicant to provide the information required by Subsection C.1.— 9. shall be grounds for deeming the application incomplete.

E. The board may approve or deny the demolition or moving request after considering the criteria contained in Section 17.40.070C. Action by the board approving or denying the issuance of a permit for demolition or moving may be appealed to the city commission by any aggrieved party, by filing a notice of appeal, in the same manner as provided in [Section 17.50](#) for appeals. If no appeal of a demolition permit is filed, the building official shall issue the permit in compliance with all other codes and ordinances of the city.

F. In any case where the city commission has ordered the removal or demolition of any structure determined to be dangerous to life, health or property, nothing contained in this

title shall be construed as making it unlawful for any person, without prior approval of the historic review board, pursuant to this title, to comply with such order.

(Ord. No. 08-1014, §§ 1—3(Exhs. 1—3), 7-1-2009; Ord. No. 10-1003, § 1(Exh. 1), 7-7-2010)

***Applicant's Response:*** Does not apply. The building we are proposing is new construction.

## DESIGN GUIDELINES for NEW CONSTRUCTION

### A: LOCATION

Canemah Historic District

What is the immediate context?

The Block

The Neighborhood

What is the mix of existing appropriate historic styles?

***Applicant's Response:***

#### CANEMAH:

The Canemah National Register District is generally bounded by on the North by the Willamette River, on the East by the hillside that descends steeply to the river, on the South by the upper bluffs. The Western boundary is less confined by topography than by the original land claim. The district is comprised of several large lots and 41 blocks; 37 blocks from the original 1850 plat and 4 from the 1891 First Addition to Canemah with a total area of approximately 63.71 acres. The men who had homes in Canemah are the fathers of industry for the entire Northwest.

#### CONTEXT:

The immediate context is listed at the beginning of this document. The list contains 9 locally properties, 3 of which are designated historic structures that are relevant to this project by either location, style or historic status. The most relevant buildings are the Davis House, Draper House and the Nutall House. The other residences are significant in the sense of SCALE. The new building should not dwarf the neighboring homes and it doesn't.



#### THE BLOCK:

Currently, the block ( #13) only has 2 homes on it. (716 4<sup>th</sup> Ave. and the Davis House)  
The subject property is on the SW corner of Block 13. In the center of the south part of the block is a vacant lot.

#### THE NEIGHBORHOOD:

The hillside site is located at the SW corner of the CHD. Fourth Avenue dead-ends with a park about 2 blocks West of the site. On 5<sup>th</sup> Ave, the CHD ends and the roadway splits into a residential development known as McMurchie's Addition. This area contains much newer homes and is outside the CHD. The character of the neighborhood is very private since many of the roads are dead-ends. Directly above the site lies Fifth Place, a street with much newer homes. It is also outside of the District.

#### MIX of HISTORIC STYLES:

The predominant style of the historic homes in this part of Canemah is Vernacular, so we are choosing that style to work with. The Bungalo style is also allowed by the Guidelines, but it didn't seem to lend itself as well to this site. Bungalos are typically lower and more square in the footprint. Over the years, a few newer Craftsman style homes were built

#### B: STYLE

***Applicant's Response:*** After applying the NROD protection boundaries to the site, we are left with a narrow piece of land on the East part of the site that is very difficult to access. Our consultants have advised us to approach the site from 4<sup>th</sup> Avenue and build a new driveway across TL2700 to get to TL3500. (This site) There was not any room for a detached garage, so we decided to place it under the house. While there are very few homes in Canemah with garages located underneath, there is a home near 3<sup>rd</sup> and Apperson that has this arrangement. You cannot see this house from our site, but it is very close by foot using the Blanchard Street stairway. It is not a historic home. Vernacular styles are more simplistic than Bungalo styles, so we opted for the Vernacular style to help control the already "high" costs of developing this site. We have done our very best to conceal this garage.

#### C: SITING and BUILDING FORM

##### ***Applicant's Response:***

C-1 The proposed building meets the design standards for new construction in Oregon City Historic Districts with VERY few exceptions.

One exception that we are asking approval for is a 7:12 roof pitch. Page 27 of the guidelines requires a pitch of not less than 8:12. The Southerly portion of the upper roof is drawn with a 7:12 pitch. The main gable facing Blanchard Street is a 12:12 and is a wider span than the 7:12. See elevations)

C-2 The building also meets the standards in the District Guidelines by its orientation to the street. The building respects the massing and scale of other structures in Canemah.

C-3 The building is set back 78 feet from Blanchard Street and 120 feet back from 4<sup>th</sup> Avenue.

## C: DESIGN COMPOSITION

### *Applicant's Response:*

D-1 The proposed building features classic design principals for a Vernacular style home as indicated in the Guidelines. There are 2 main intersecting roofs and a secondary porch roof. The garage is tucked underneath on the left (north) elevation, set back from the porch posts. The massing of the building is broken up by a break near the center of the Blanchard Street elevation. At this point, the vertical face takes an 2 foot jog horizontally. The structure features hung-sash windows with a one-over-one lite pattern. The porch serves to shelter from the elements, provide a visual break in the façade and to give a place for the light/dark play of sunlight. The windows are trimmed with wooden head, jamb and skirts. We feel that the building will be an asset to the Canemah Historic District.

D-2 The proposed building has good proportions and a balanced façade.

D-3 Two design Assistance meetings were held with the HRB. (September and December) In response to both meetings, we made significant adjustments based on comments from the board members. The following is a list of items that came up after the December design assistance meeting. The current version of the plans and elevations is now called "Option D". The one presented at the Dec 15 HRB meeting was called "Option C".

- a) Window Separation: The pairs of hung-sash windows should be framed with separate openings spaced apart by 4'-6". We did this.
- b) Porch Details: Specific information about the porch columns and handrails. This information is now on the elevations. We are seeking to have a column that is like the Nutall House and the Davis House. (see photos)
- c) Garage doors: The paneled garage doors have been removed and replaced with a simple flush panel door made of wood. These will be painted to match the Trim-1 color. (See elevations)
- d) Bay Window: The bay window at the East elevation was originally drawn with angular sides and a hip roof. That bay has been changed to a rectangular shape with a shed roof.
- e) Wall setback. While it was not unanimous, some board members wanted to see that upper story wall and the main floor wall line up. (the southern portion of the west wall on Blanchard Street) We took two feet out of the main floor, then extended the upper floor by 12" outward to make it line up. The result is a 2 foot step-back in the plan at the stairway that is continuous to the upper floor.

- f) Roofline: Another board member suggested that the rooflines at the Blanchard elevation (West) be raised to match each other. That was accomplished by increasing the pitch on the south portion of the roof from a 6:12 to a 7:12. This change was not “mandatory”, but it was a change that could be easily made.
- g) Porch Columns: a number of adjustments to the porch column locations were made at the main floor. First, the columns at the North elevation were made to line up with the larger columns at the lower floor. Secondly, the columns along the porch at Blanchard Street were re-arranged per the clients request.
- h) Windows: The owner wanted to eliminate a couple windows from the West (Blanchard) elevation and re-arrange the Master bedroom and Living room windows at the East elevation. (See drawings) Those changes were not requested by the HRB, but we feel that they strengthen the design.

D-4 We have suggested some finer details in the design of the building. For example, the porch posts will now feature a “eased” corner like many of the columns in Canemah. Also, the railing will have a rounded caprail piece on top of a sub-rail to give it a bit more comfort and definition.

## E: SPECIFIC DESIGN ELEMENTS

### *Applicant's Response:*

E-1 We have carefully chosen design elements that are common to the styles that are common in the CHD. The details are used in a consistent manner throughout the design and in a way that is historically appropriate.

These elements include (but not limited to); rooflines, rake boards, frieze boards, grouped and spaced windows, covered porches, lap siding, low sloped roofs, half-lite doors and columns.

E-2 The building is appropriately simplistic in its design. The most elaborate detail are the porch posts. When compared to other homes, this is a simple one. We feel that the level of ornamentation is moderate and appropriate for the CHD. It will not detract from the neighborhood context and will be an asset to the fabric of the community.

E-3 All of the selected elements are mentioned in the “Element Guidelines” section of the document called “Guidelines for New Construction” of 2006. A materials board has been prepared and will be available for viewing at the forthcoming meetings of the HRB and the Canemah Neighborhood Association. The colors and materials are traditional.

### SIDING

One material that we wish to use is known as beaded fiber-cement lap siding. It is available in smooth and woodgrain. It is not specifically prohibited in the Guidelines and “has the appearance” of wood siding. (page 60 of the guidelines) The lap siding can be installed with 7” to weather.

ROOFING: We will use a high quality composition roofing with a dark grey color.

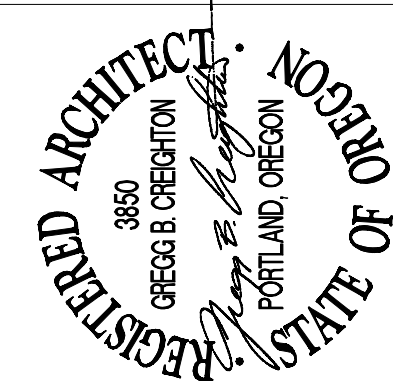
COLORS:

See material board.

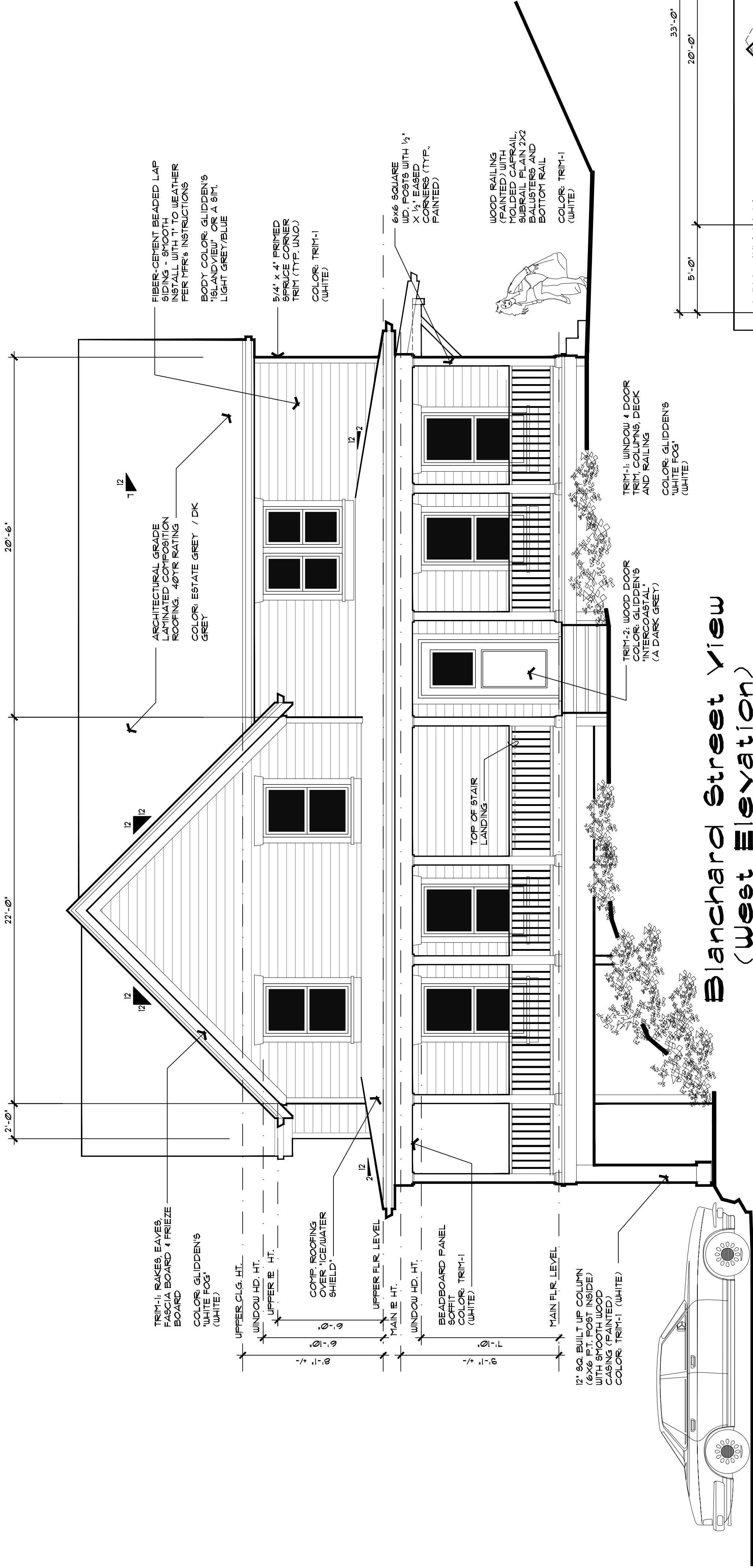
Thank you for considering our application,

Sincerely,

Gregg Creighton  
Creighton Architecture

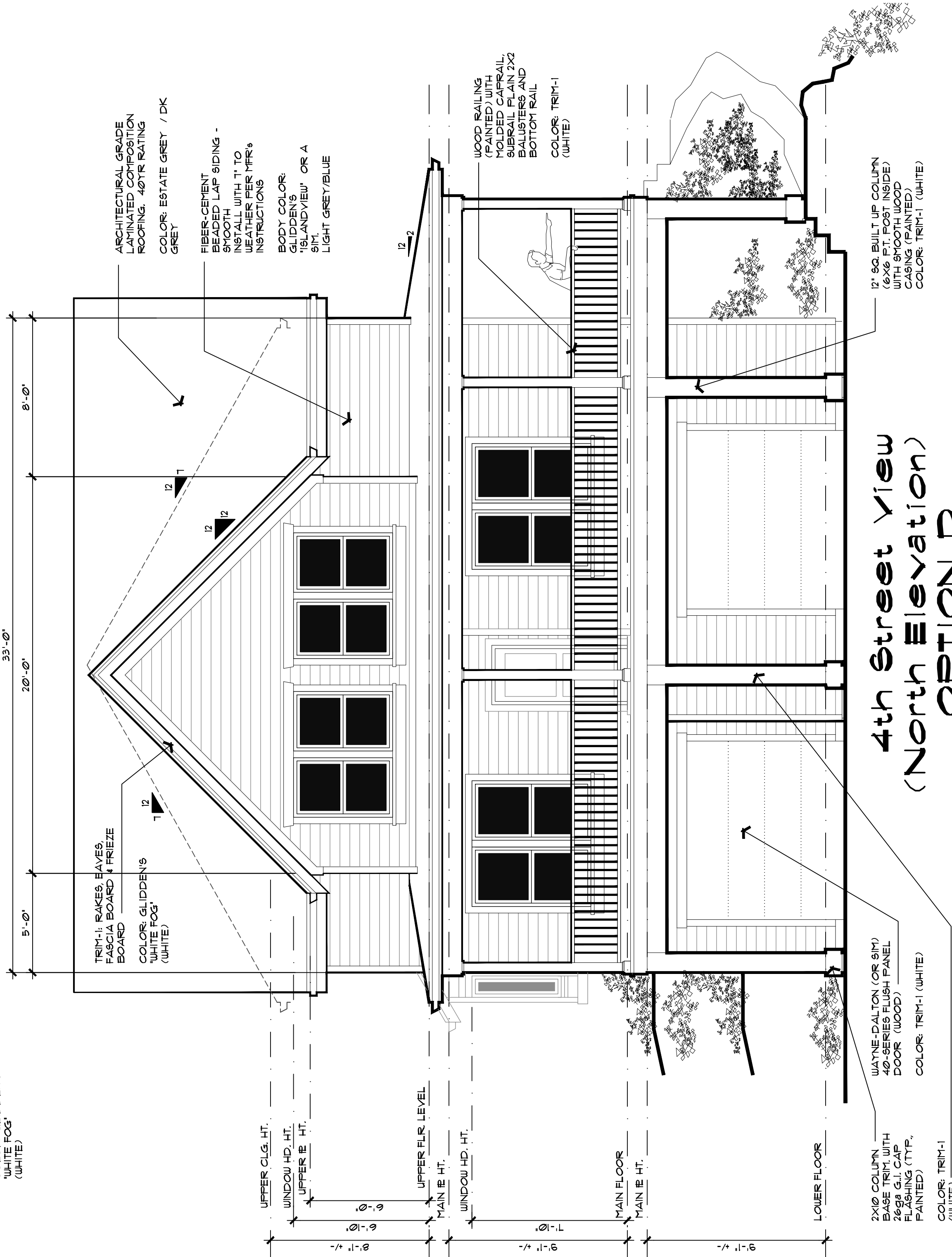


Gregg B. Creighton, Architect  
is a duly Licensed Architect in the State of Oregon. He is not responsible for any conditions or local ordinances that may apply to the project. He is not responsible for any conditions or local ordinances that may apply to the project. He is not responsible for any conditions or local ordinances that may apply to the project.



Blanchard Street View  
(West Elevation)  
OPTION D

FRONT ELEVATION (WEST)  
SCALE: 1/4" = 1'-0"

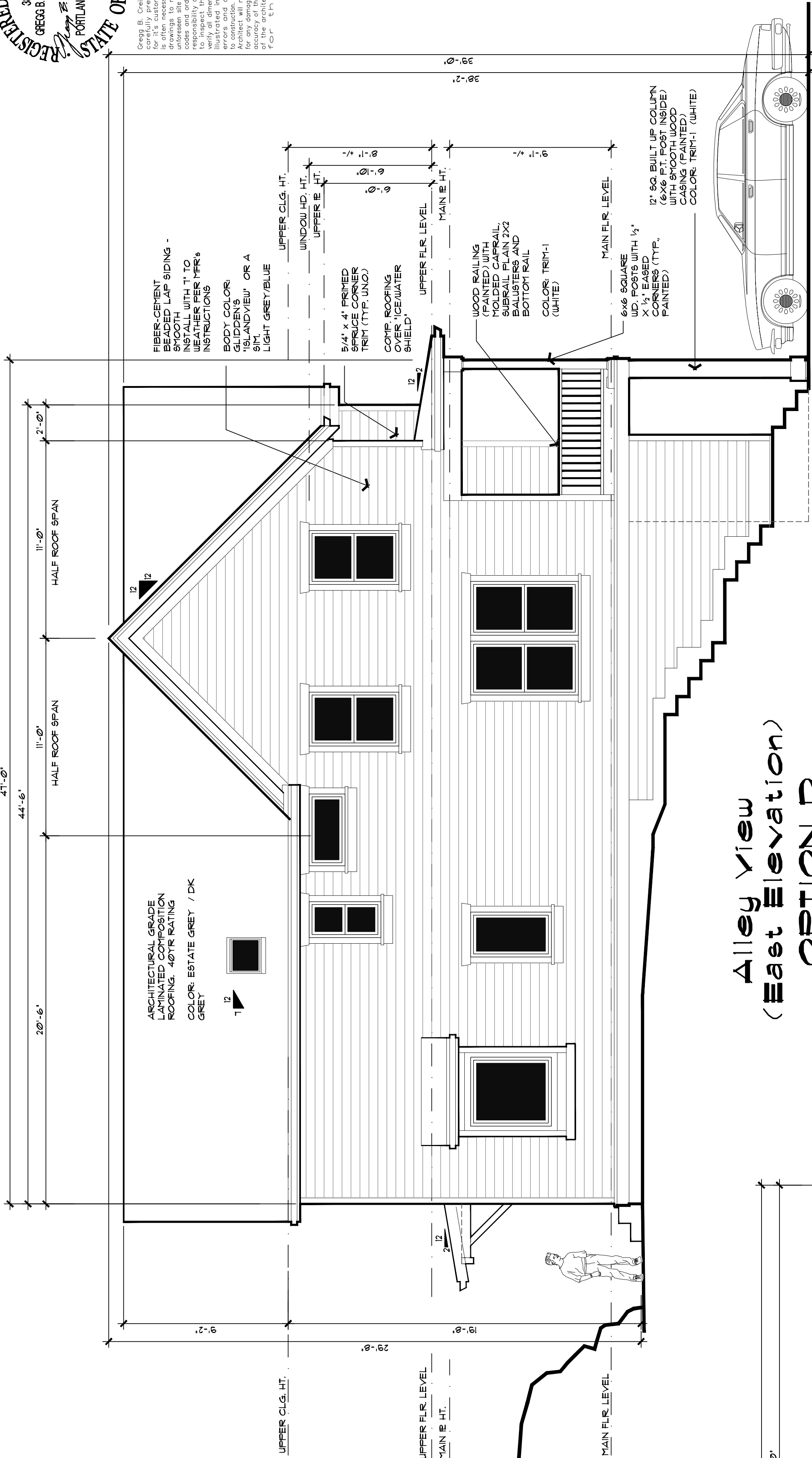


4th Street View  
(North Elevation)  
OPTION D

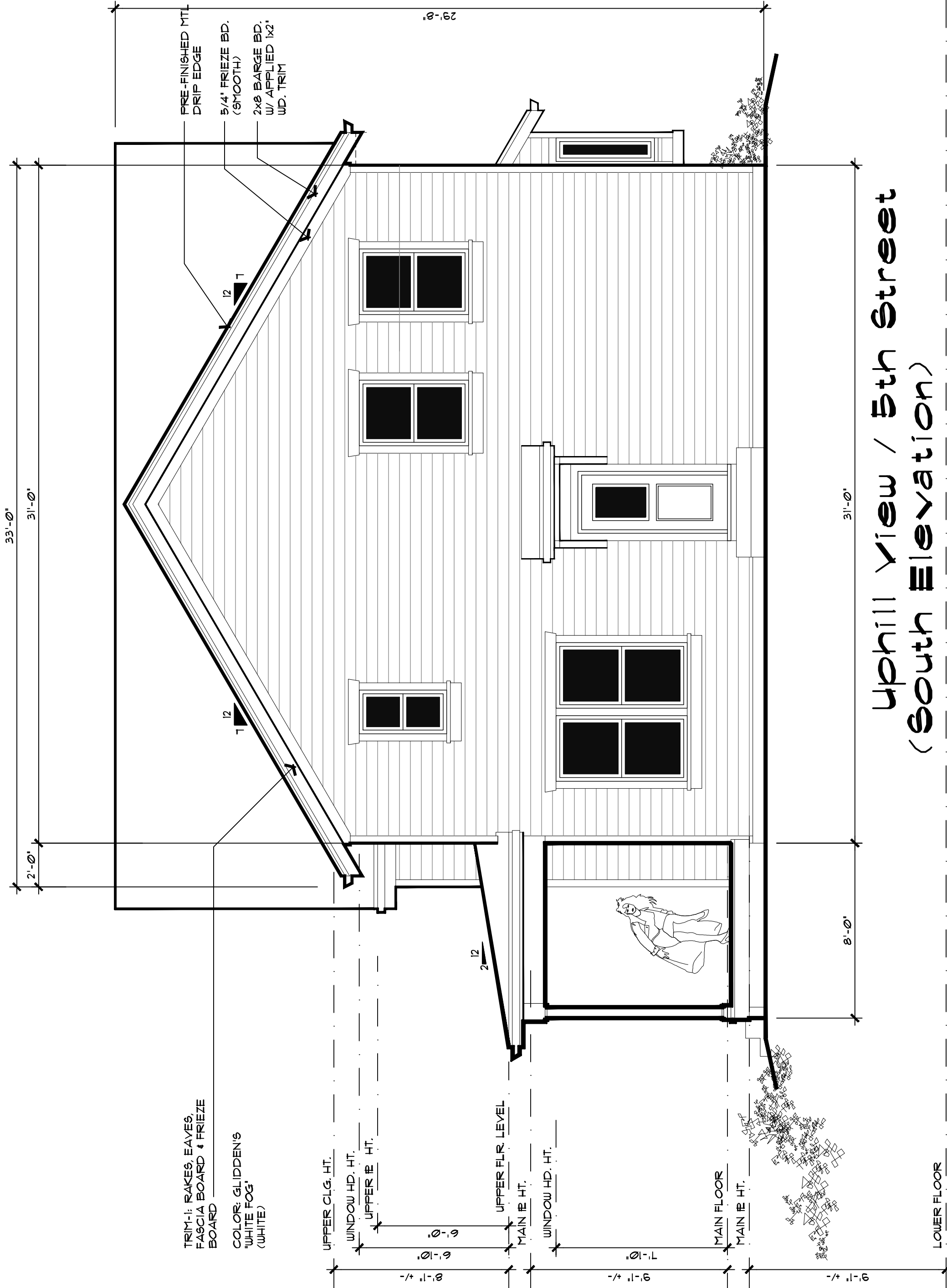
LEFT SIDE ELEVATION (NORTH)  
SCALE: 1/4" = 1'-0"

Gregg B. Creighton, Architect  
3850 CREIGHTON ARCHITECT  
1000 NE Oregon Street, Suite 300  
Portland, Oregon 97232  
Phone (503) 635-0797  
Fax (503) 635-1041  
www.greggcreighton.com

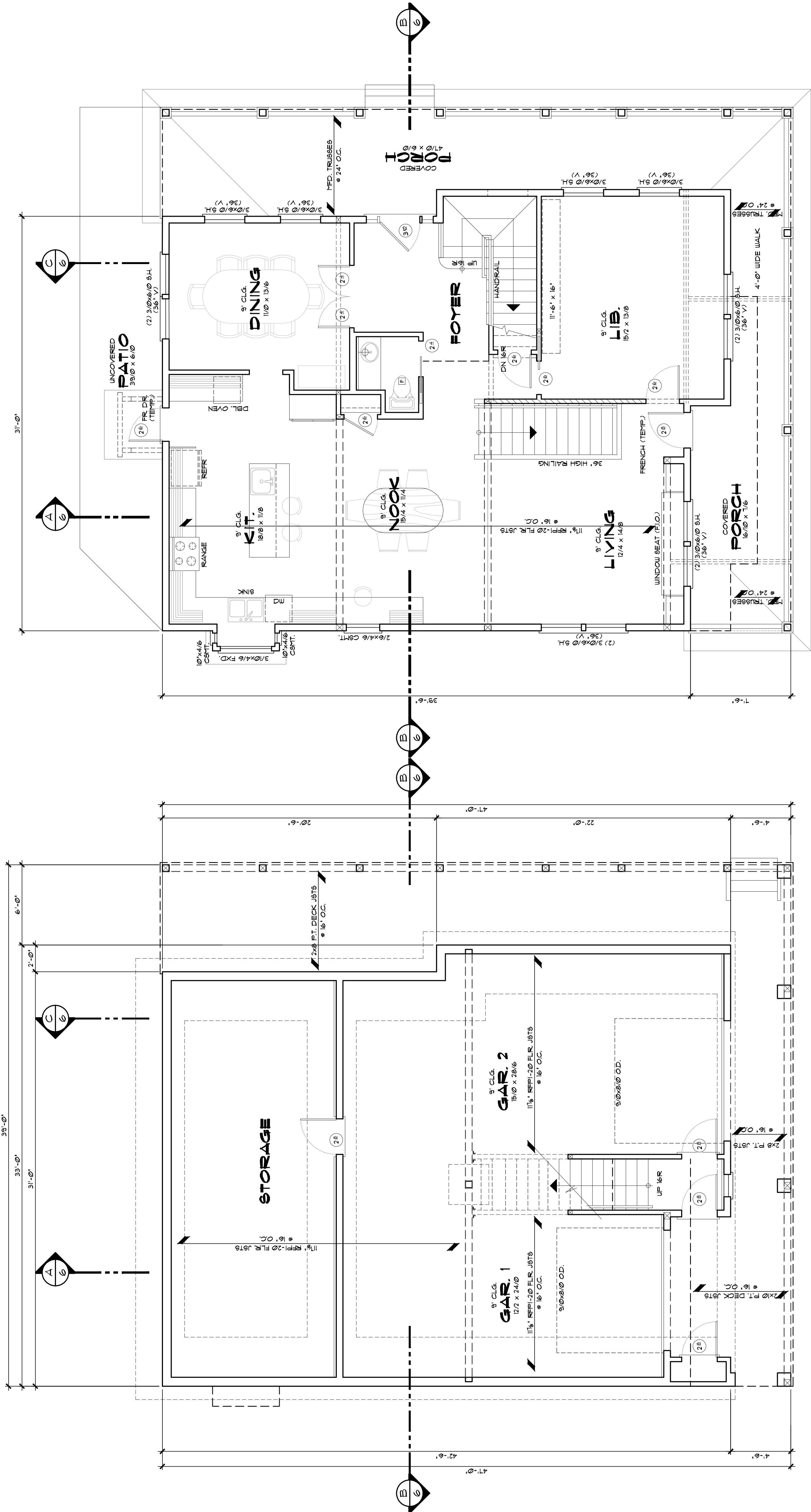
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Alley View  
(East Elevation)  
OPTION D



Uphill View / 5th Street  
(South Elevation)  
OPTION D

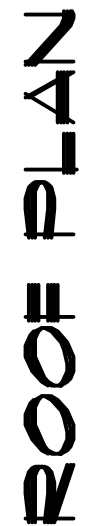
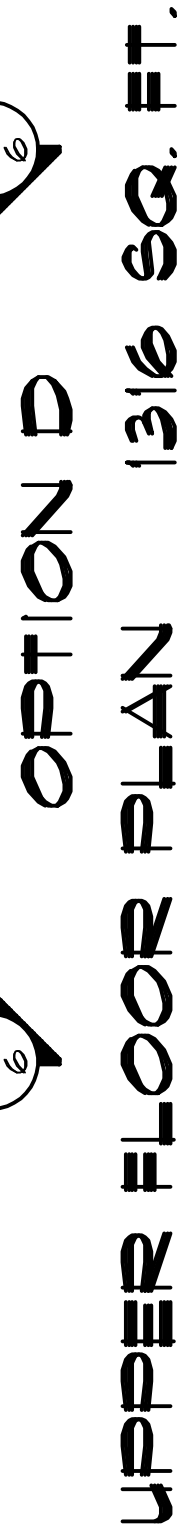


# ÖZET

OPTION D
MAIN FLOOR PLAN 1267 SQ. FT.
<b>2619 SQ. FT. TOTAL</b>

SCALE: 1/4" = 1'-0"

LOWER FLOOR PLAN



SCALE: 1/4" = 1'-0"





Bistline Residence - Canemah HD

THIS INFORMATION APPLIES PRIOR TO THIS SITE:

Tax Lot 3500  
T3S-R1E-4E Block 13  
Lots 5 & 6, Block 13  
SUBDIVISION: "CANEMAH"  
R: 015062  
P: 0000000000  
JHA: City of Oregon City  
97045  
Zoning: R8

FOR:  
**Ron & Debbie Bistline**  
**(503) 396-2316**

**Tax Lot 3500**  
DATE: 12/29/14 BILD. / 68C

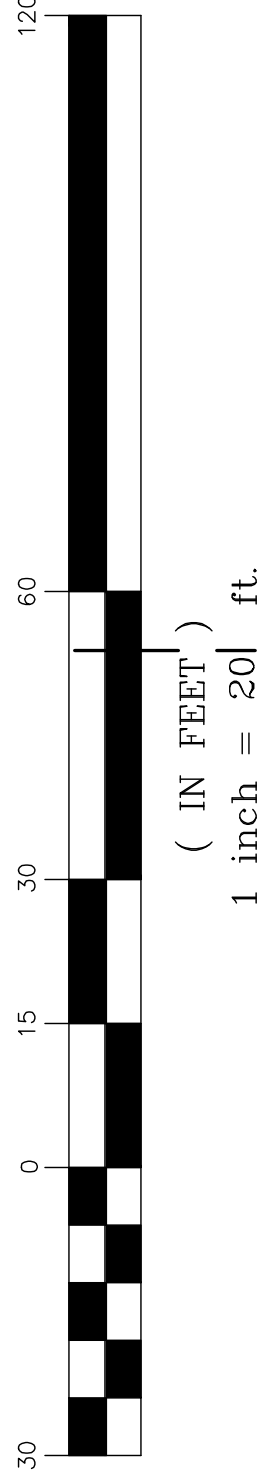
**WWW.etcEnvironmental.NET**  
**(360)-696-4403**

**NROD AREAS FOR A PERENNIAL NON FISH BEARING STREAM WITH VARYING SIDE SLOPES**

RON AND DEBBIE BISTLINE  
716 4TH AVENUE  
OREGON CITY, OR

FIGURE	2
SCALE	1" = 40'
DRAWN BY	J MCCONNAUGHEY
DATE	5/11/2014
JOB #	EVA 14-006

GRAPHIC SCALE



**NATURAL RESOURCE OVERLAY DISTRICT (NROD):**  
TABLE 17.49.110 DEFINES THE WIDTH OF THE NROD DISTRICT AS A FUNCTION OF THE TYPE OF RESOURCE AND THE STEEPNESS AND LENGTH OF THE SIDE SLOPES ADJACENT TO THE RESOURCE. IN THIS CASE THE RESOURCE IS A SMALL PERENNIAL STREAM, AND THE SIDE SLOPE VARIES LENGTH AND STEEPNESS DEPENDING ON LOCATION.

**PROTECTED FEATURE:**  
A SMALL NATURAL STREAM WITH VARYING SIDE SLOPES. STREAM IS PERENNIAL NON FISH BEARING. STREAM CHANNEL AND GRADE HAVE BEEN MODIFIED WITH ROCK AND CONCRETE STRUCTURES TO CONTROL EROSION AND CREATE AESTHETICALLY PLEASING FEATURES.

**SLOPE BREAK:**  
BREAK IN SLOPE WHERE SLOPE PERPENDICULAR TO THE STREAM CHANGES FROM > 25% TO < 25%. THE NROD EXTENDS 50FT BEYOND THIS BREAK.

**NROD AREA 200' FROM RESOURCE:**  
NROD EXTENDS 200 FEET FROM RESOURCE WHERE SIDE SLOPE IS > 25% FOR MORE THAN 150 FEET. WHILE THE TOPO SURVEY EXTENDS LESS THAN 150 FEET, IT IS CLEAR THE SOUTH PORTION OF THE LOT IS COVERED BY THE NROD REGARDLESS.

**MAXIMUM DEVELOPMENT AREA:**

**LOT 3500:** THE LOT MEETS THE DEFINITION OF A HIGHLY CONSTRAINED LOT OF RECORD THAT IS ENTIRELY COVERED BY THE NROD. ACCORDING TO 17.49.120.I THE MAXIMUM DEVELOPMENT AREA FOR A LOT ZONED R8 IS 3,000 SQFT.

**LOT 2700:** THE LOT IS 10,000 SQFT, 25% OF WHICH IS 2,500 SQFT. THE AREA OUTSIDE THE NROD IS 4,218 SQFT. ACCORDING TO 17.49.120.B. THE MAXIMUM NROD AREA THAT MAY BE DEVELOPED IS (2,500 - 4,218 < 0, \ NO NROD AREA MAY BE DEVELOPED (WITHOUT A TYPE III DECISION).

**25' MINIMUM SETBACK:**  
MINIMUM SETBACK FOR DEVELOPMENT OF VACANT CONSTRAINED LOT 17.49.120.C WITHOUT TRIGGERING A TYPE III DECISION.

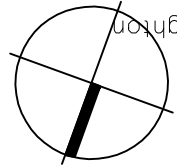
**NROD AREA 50' FROM RESOURCE:**  
NROD EXTENDS 50 FEET FROM RESOURCE WHERE SIDE SLOPE IS < 25%.

SITE PLAN GENERAL NOTES

1. PROVIDE A MINIMUM 8" DEEP GRAVEL BASE FOR ALL DRIVEWAY AREAS.
2. MAXIMUM DRIVEWAY SLOPE SHOULD BE VERIFIED WITH THE BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
3. PROVIDE A MINIMUM 4" DEEP GRAVEL BASE FOR ALL SIDEWALK AND PATIO AREAS.
4. DPE ALL STORM DRAINAGE FROM THE BUILDING TO A DISPOSAL POINT APPROVED BY THE BUILDING DEPARTMENT.
5. PROVIDE AND MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING ON ALL SIDES.
6. THE BOUNDARY AND TOPOGRAPHY INFORMATION HAS BEEN PROVIDED TO GREGG B. CREIGHTON ARCHITECT, P.C. BY THE CONTRACTOR, OWNER OR ENGINEERING CONSULTANT. GREGG B. CREIGHTON ARCHITECT, P.C. SHALL BE RESPONSIBLE FOR THE ACCURACY OF THIS INFORMATION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL SITE CONDITIONS INCLUDING ANY FILL PLACED ON THE SITE. THE CONTRACTOR SHALL MAINTAIN THIS OFFICE OF ANY POTENTIAL FIELD MODIFICATIONS NOT SPECIFIED ON THE PLANS.
7. NON-STABILIZED FILL MUST NOT EXCEED 2:1 SLOPE
8. EXCAVATION MATERIAL REMAINING ON SITE IS TO BE CONTAINED BY AN APPROVED SEDIMENT BARRIER. THE CONTRACTOR SHALL LOCATE AND MAINTAIN APPROPRIATE BUILDING OFFICIAL.
9. PROTECT STOCK PILES FROM OCTOBER 1st THRU APRIL 30th PER THE EROSION CONTROL HANDBOOK.
10. NO CUTTING OR FILLING SHALL TAKE PLACE WITHIN THE DRIP LINE OF ANY EXISTING TREE UNLESS THE EXCEPTION IS APPROVED BY THE BUILDING DEPT.

LEGEND

- — — — — = EDGE OF PAVEMENT
- — — — — = PROPERTY LINE
- = POROUS ASPHALT DRIVE
- = EXIST. CONCRETE SIDEWALK
- = GRAVEL
- = PERMEABLE PAVERS



12-29-14 10:45am  
BISTLINE SITE.dwg  
Plotted by Gregg Creighton  
GBC layer group = P

CREIGHTON ARCHITECTURE IS NOT LIABLE FOR THE ACCURACY OF THIS INFORMATION. IT IS THE SOLE RESPONSIBILITY OF THE BUILDER TO VERIFY ALL SITE CONDITIONS, INCLUDING ANY FILL PLACED ON THE SITE AND ANY CHANGES OR ANY POTENTIAL FIELD MODIFICATIONS.

Creighton Architecture  
252 "A" Ave. Suite 300  
Lake Oswego, OR 97034  
(503) 635-0797  
Fax: (503)635-1041  
Job #: 00000

nrod area plan

SCALE: 1" = 20'-0"

# Bistline Residence - Canemah HD

THIS INFORMATION APPLIES PRIOR TO THIS SITE:

Tax Lot 3500

T3S-R1E-07AA-TL3500

OWNER: Ron & Debbie Bistline

SUBDIVISION: R: C15062

ALT R00743253

JHA: City of Oregon

Zoning: R6

FOR:  
**Ron & Debbie Bistline**  
**(503) 396-2316**

**Tax Lot 3500**

DATE: 12/29/14 BILD / GBC

## SITE PLAN GENERAL NOTES

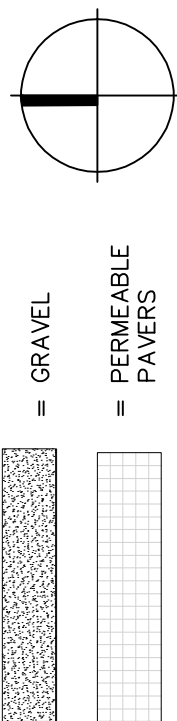
1. PROVIDE A MINIMUM 8" DEEP GRAVEL BASE FOR ALL DRIVEWAY AREAS.
2. MAXIMUM DRIVEWAY SLOPE SHOULD BE VERIFIED WITH THE BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
3. PROVIDE A MINIMUM 4" DEEP GRAVEL BASE FOR ALL SIDEWALK AND PATIO AREAS.
4. PIPE ALL STORM DRAINAGE FROM THE BUILDING TO DESIGN POINT APPROVED BY THE BUILDING DEPARTMENT.
5. PROVIDE AND MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING ON ALL SIDES.
6. THE BOUNDARY AND TOPOGRAPHY INFORMATION HAS BEEN PROVIDED TO GREGG B. CREIGHTON, OR ENGINEER, FOR THE PREPARED EROSION CONTROL ARCHITECT, P.C. WILL NOT BE HELD LIABLE FOR THE ACCURACY OF THIS INFORMATION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL SITE CONDITIONS INCLUDING ANY FILL PLACED ON THE SITE. THE CONTRACTOR MUST INFORM THIS OFFICE OF ANY POTENTIAL FIELD MODIFICATIONS NOT SPECIFIED ON THE PLANS.
7. NON-STABILIZED FILL MUST NOT EXCEED 2:1 SLOPE.
8. EXCAVATION MATERIAL REMAINING ON SITE IS TO BE CONTAINED BY AN APPROVED SEDIMENT BARRIER. THE CONTRACTOR MUST VERIFY LOCATION WITH APPROPRIATE BUILDING OFFICIAL.
9. PROTECT STOCK PILES FROM OCTOBER 1st THRU APRIL 30th PER THE EROSION CONTROL HANDBOOK.
10. NO CUTTING OR FILLING SHALL TAKE PLACE WITHIN THE DRIP LINE OF AN EXISTING TREE UNLESS THE EXCEPTION IS APPROVED BY THE BUILDING DEPT.

## LEGEND

- ST—ST—ST— = SIGN
- = CATCH BASIN
- ⚡ = FIRE HYDRANT
- ⌵ = WATER VALVE
- Ⓢ = STORM MANHOLE

## LEGEND

- ST—ST—ST— = STORM LINE
- GAS— = GAS LINE
- H<sub>2</sub>O—H<sub>2</sub>O— = WATER LINE
- PWR—PWR— = POWER POLE
- SS—SS—SS— = SANI & SEWER
- = EDGE OF PAVEMENT
- = BOUNDARY OF EASEMENT
- = SETBACK LINE
- = PROPERTY LINE
- █ = POROUS ASPHALT DRIVE
- █ = CONCRETE SIDEWALK
- █ = GRAVEL
- █ = PERMEABLE PAVING



CREIGHTON ARCHITECTURE IS NOT LIABLE FOR THE ACCURACY OF THE TOPOGRAPHY & UTILITY INFORMATION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE INFORMATION INCLUDING ANY FILL PLACED ON THE SITE AND INFORM OWNERS OF ANY POTENTIAL FIELD MODIFICATIONS.

**Creighton Architecture**  
**252 "A" Ave. Suite 300**  
**Lake Oswego, OR 97034**  
**(503) 635-0797**  
**Fax: (503) 635-1041**  
**Job #: 00000**

## LEGEND:

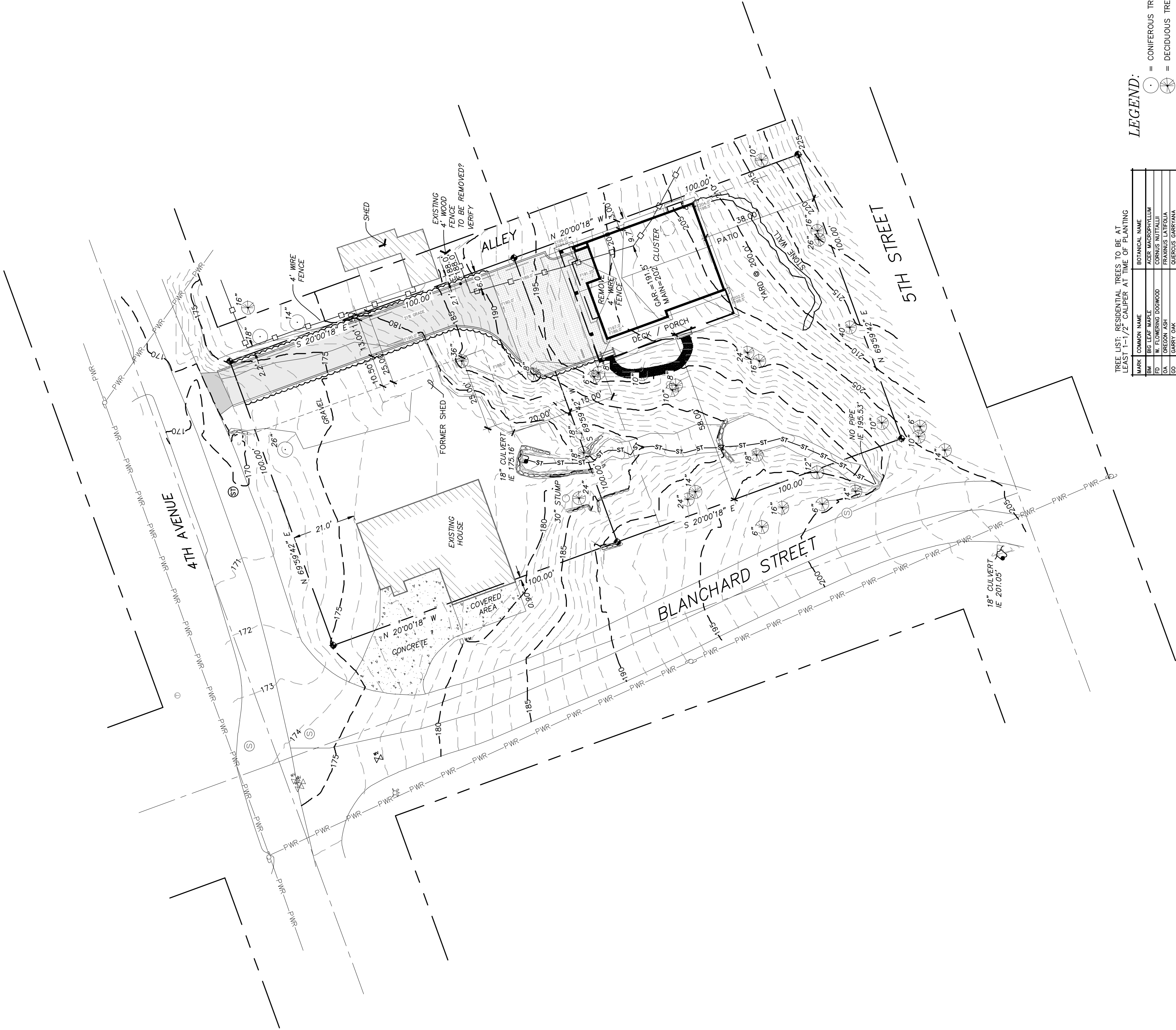
- = CONIFEROUS TREE (AS NOTED)
- = DECIDUOUS TREE (AS NOTED)
- = DECIDUOUS TREE (REMOVE)
- ⊗ = GROUND COVER: KINKIKINICK 12" O.C. / TRIANGULAR SPACING, 4" POT (HYPERICUM CALICINUM)
- ⊗ = GROUND COVER: GRASS
- ⊗ = GROUND COVER: DULL OREGONGRAPE 12" O.C. / TRIANGULAR SPACING, 4" POT BERBERIS NERVOSA

TREE LIST: RESIDENTIAL TREES TO BE AT LEAST 1-1/2" CALIPER AT TIME OF PLANTING

TAX	COMMON NAME	BOTANICAL NAME
10	BIG LEAF MAPLE	ACER MACROPHYLLUM
11	W. FLOWERING DOGWOOD	CORNUS NUTTALLII
12	OREGON ASH	FRAXINUS LAYLEANA
13	BLACK LOCUST	ROBUSTA
14	BLACK HAWTHORN (UPLAND)	CRATAEGUS SARGENTII
15	WESTERN RED CEDAR	THUJA PLICATA (WESTERN)
16	DOUGLAS FIR	PSEUDOTSUGA MUEHLB.

SHRUB LIST: SHRUBS TO BE AT LEAST 1-1/2" CALIPER AT TIME OF PLANTING

TAX	COMMON NAME	BOTANICAL NAME
17	AMERICAN ARBOKAL	THUJA OCCIDENTALIS
18	SHINY UNCLE	UNCLE RHODODENDRON YELLOW



# BLANCHARD ST. PROFILE 1" = 20'

