



OREGON CITY

Community Development – Planning

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FILE NO.: HR 15-01

HEARING DATE: Tuesday, February 24, 2015
6:00 p.m. - City Hall
625 Center Street
Oregon City, Oregon 97045

OWNER: BC Custom Homes
410 High Street
Oregon City, Or 97045

APPLICANT: Todd Iselin
Iselin Architecture
Oregon City, OR 97045

LOCATION: 22E30DD TL 2901
13th Street, Oregon City, OR 97045

REQUEST: Approval of a new single family residence in the McLoughlin Conservation District.

REVIEWER: Christina Robertson-Gardiner, AICP, Planner

CRITERIA: **The criteria for new construction are set forth in Section 17.40.060 as follows:**

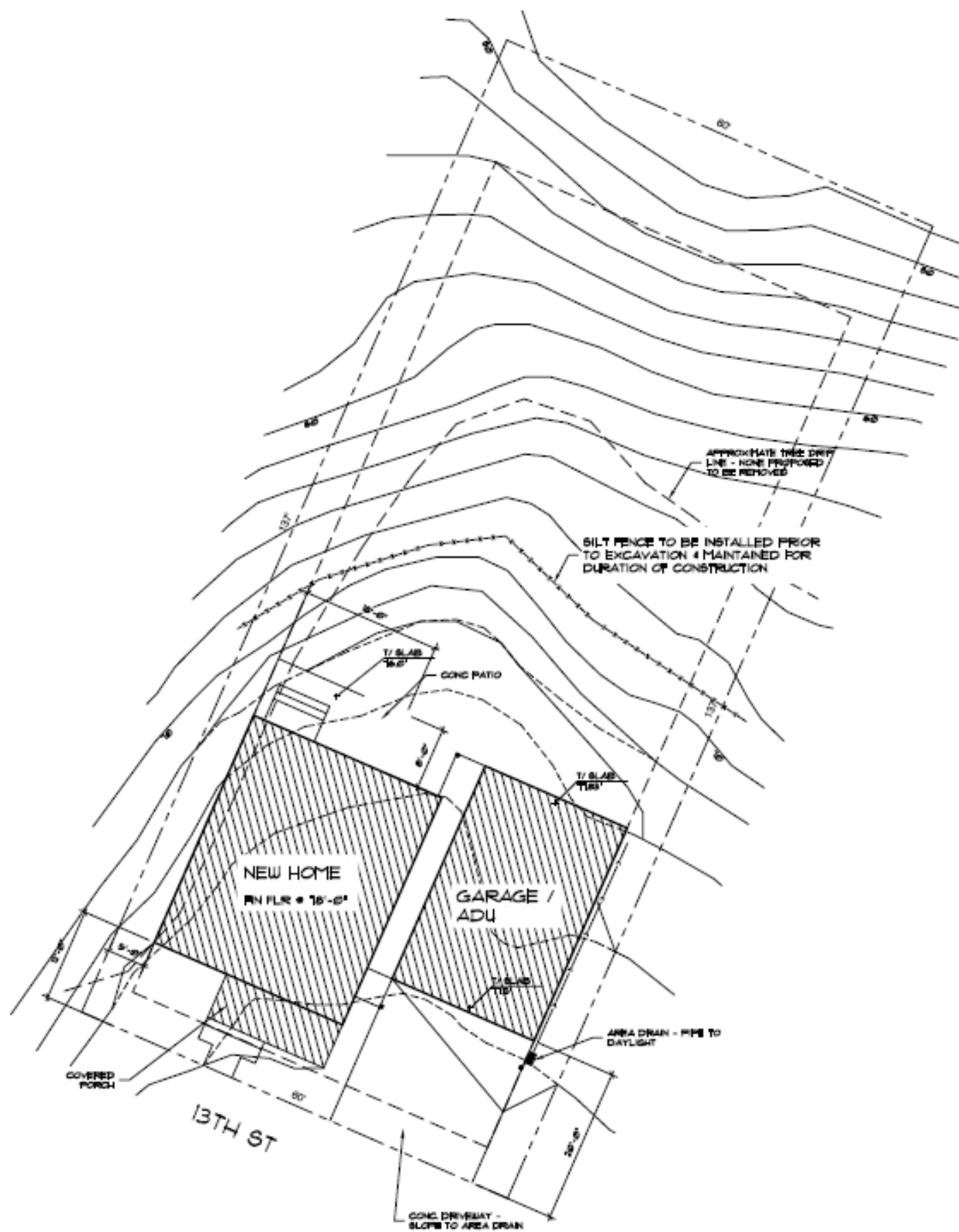
1. For construction of new structures in a Historic or Conservation District, or on a Historic Site, the criteria to be used by the Historic Review Board in reaching its decision on the certificate of appropriateness shall include the following:
 - a. The purpose of the Historic or Conservation District as set forth in Section 17.40.010;
 - b. The provisions of the Oregon City Comprehensive Plan;
 - c. The economic effect of the proposed structure or the historic value of the district or historic site;

- d. The effect of the proposed new structure on the historic value of the district or historic site;
- e. The general compatibility of the exterior design, arrangement, proportion, detail, scale, color, texture and materials proposed to be used in the construction of the new building or structure;
- f. Economic, social, environmental and energy consequences;
- g. Design guidelines adopted by the Historic Review Board.

BASIC FACTS:

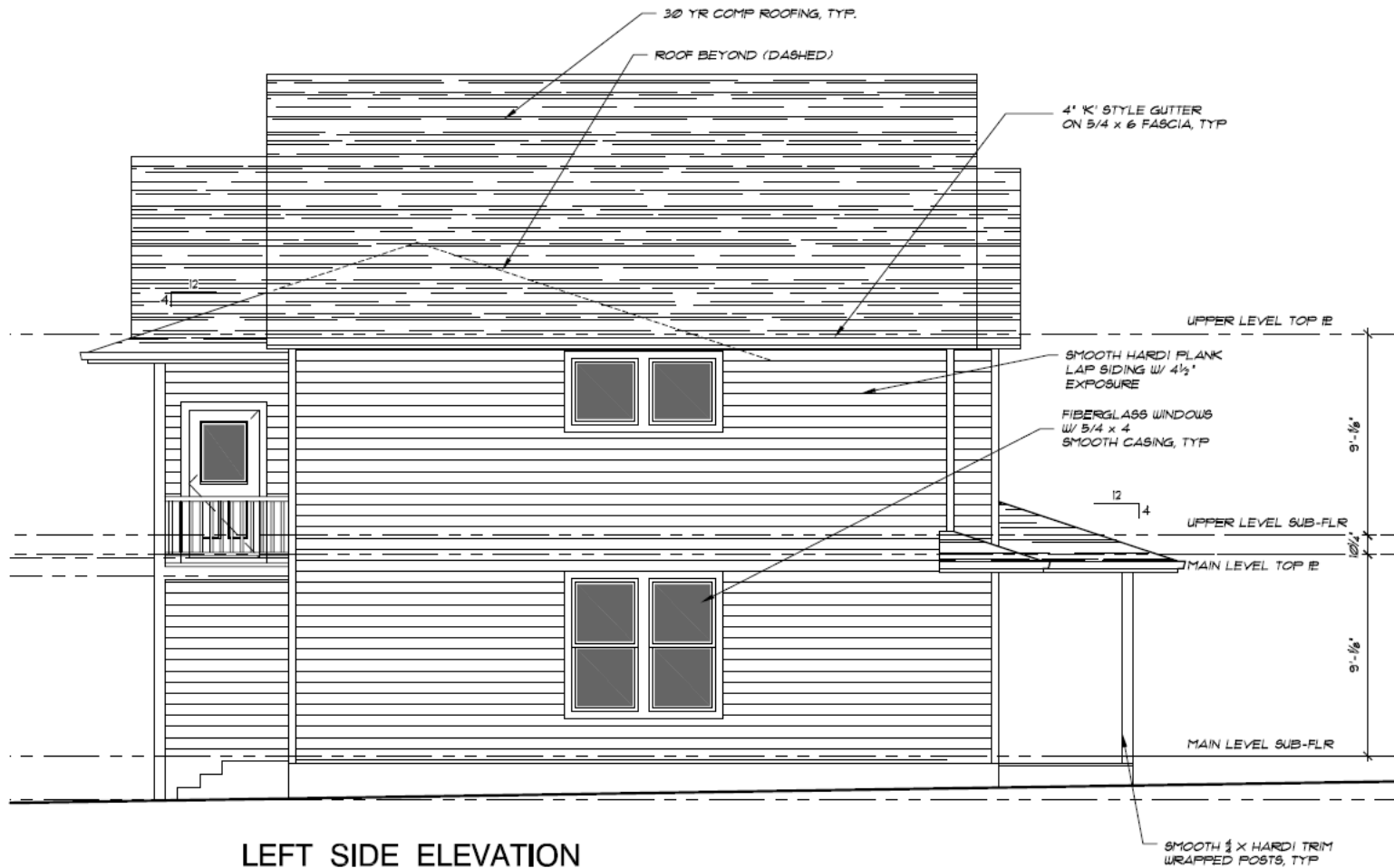
The proposed project consists of the construction of a new, two story single family residence with an accessory dwelling unit located above the garage and connected with an upper level breezeway. The residence will be built on a vacant lot located adjacent to an existing single family residence and across the street from an existing residential fourplex. The property on which the proposed residence will be located is 7,840 sf in area, however only 2,500 sf are buildable due to steep slope conditions and the recommendations of the geotechnical survey. The residence will be located near 13th Street, with the covered front porch 5'-9" back from the property line.

The residence has a total living area of 1,607 sf with the garage and ADU adding an additional 600 sf each. The style of the residence is Vernacular, intended to blend in with the other Vernacular style homes adjacent to and across 13th Street and be compatible with the variety of Victorian, Craftsman and other styles in the neighborhood. The exterior will consist of painted fiber-cement lap siding and trim, one-over-one fiberglass single hung and fixed windows, fiberglass entry doors and composition roof shingles.

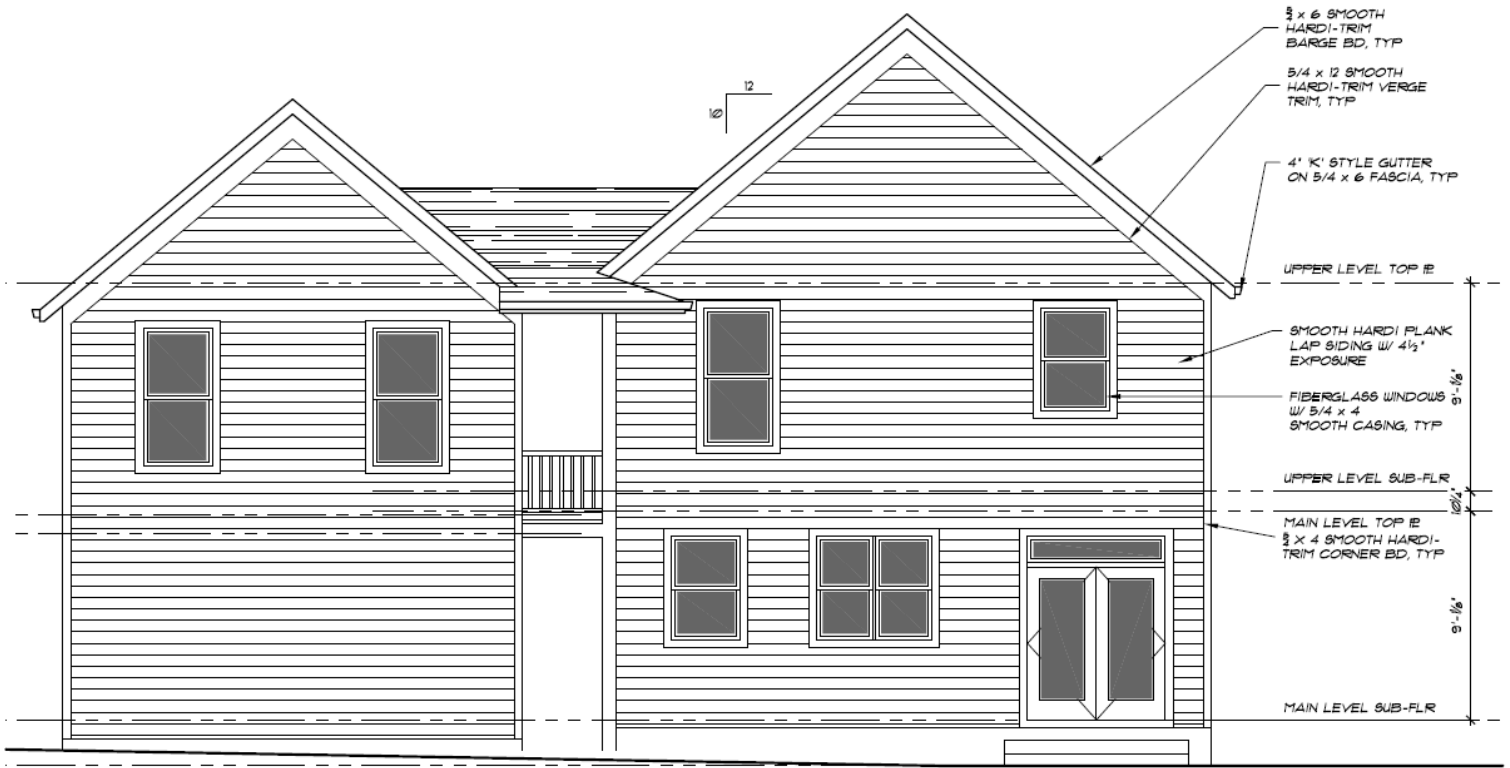




FRONT ELEVATION



LEFT SIDE ELEVATION





13th Street (Front) Elevation



Rear Elevation (Close)

The following historic homes are located near the proposed site.

1302 Washington Street - Jacob Miller House



This 1-1/2 story house sits under a side gable roof with a gabled dormer on the west façade. The gable ends feature deep open eaves with knee brackets and wide notched barge boards. A recessed porch runs the full width of the west façade under the main gable with a hip roofed wraparound portion on the north side of the house. The porch features grouped square columns set on wood piers beneath a wide blank frieze and a solid balustrade encircling the porch. The west dormer leads out to a small porch cut into the roof with a small plain balustrade. This gable end is stuccoed with half timbering, but the gable ends are typically shingled. The first floor of the house is clad with beveled lap siding, as are the porch piers and balustrade. The windows in the house are primarily 1/1 double-hung wood sash with wide board surrounds and decorative apron moldings. At the southeast corner of the house is a small shed lean-to with a partially enclosed porch serving as the rear entry to the house. A large brick chimney is located on the north wall of the house, and a smaller internal chimney is located near the southeast corner of the house.

1215 Washington Street - Alzey A. Goettling House



This two story house sits under a cross gable roof, with a gable on hip porch running the full width of the east façade. The gables feature enclosed eaves with decorative spindle work in the gable ends, and the porch gable has a sunburst pattern in its small gable end. The porch roof is supported by turned columns with small scroll cut brackets beneath the blank frieze. The house is clad primarily with horizontal drop siding, finished with cornerboards, but the gable ends are clad with octagonal imbrication above a belt course at the second floor window head level. The windows are all 1/1 double-hung wood sash with plain board trim and projecting hood molding at the first floor level. The northeast corner of the house has a hip roofed

extension of the main gable over a small porch. This portion of the building appears to be a later addition to the house that runs the full length of the west façade.

1206 Washington Street - Barlow House



This 2-1/2 story house sits under a gable roof with an L-shaped plan. The gables feature enclosed eaves with wide rake and frieze boards. A small gable is located at the northwest corner of the house in the inside corner of the L, covering the front porch. The porch gable is supported by turned columns and features decorative spindle work in the gable end. An octagonal bay projects out from the west side of the house, covered by a shallow hip roof and featuring a decorative frieze above the windows. The windows in the house are all 1/1 double-hung wood sash with chamfered board trim and prominent hood moldings. The house's foundation has been skirted with plywood, and a fully developed water table makes the transition to

the drop siding that covers the main body of the house. The siding is finished with chamfered cornerboards that match the window trim. A large chimney is located on the south wall of the house and was apparently rebuilt using buff colored brick. A second smaller chimney of red brick is located on the north side of the house.

519 13th Street - James Healey House



This house sits on the north side of 13th Street, and has two main building masses. The eastern half of the building is a two story volume under a front gable roof, and the west half is a one story wing under a front gable. This gives the house a T-shaped plan. The gables feature enclosed eaves and wide frieze and rake boards. The house has been completely clad with composition shingle siding above the poured concrete foundation. A small gable projects out from the south side of the two story portion of the house, supported by a pair of 4 x 4 columns and covering the main

entry to the house. All of the windows in the house are recent replacements of the original sashes, and are now 1/1 doublehung vinyl windows. The windows have board surrounds and slightly projecting sills. A brick chimney is present on the west wall of the house, centered on the west façade.

1214 Washington Street - Charles and Hattie Babcock House



This two story house sits under a cross gable roof with a porch running nearly the full width of the west façade. The porch is covered by a gable over the entry with a low shed roof running to the north from this gable. The porch roof is supported by turned columns with a low turned balustrade running between them. The house is primarily clad with drop siding, finished with cornerboards, above the stone foundation. The gables are pedimented and feature enclosed eaves above frieze boards with molding at the eave. The gable ends feature battered wood shingles beneath a decorative bull's-eye pattern frieze in the gable end. The porch gable is also pedimented and is completely covered with the bull's-eye ornament in a grid pattern. The west gable features a rectangular second floor cantilevered over an octagonal bay at the first floor level with scrollwork brackets supporting the cantilever. The northern gable covers a two story octagonal bay with a large brick chimney set just to the west of the bay. The windows are all 1/1 double-hung wood sash with plain board surrounds and projecting hood moldings at the first floor level. The second floor window heads are trimmed by the frieze board. This house is individually listed on the National Register.

Noticing

Notice of the proposal was sent to property owners within three hundred feet of the subject property and the McLoughlin Neighborhood Association. Additionally, the property was posted with a Notice of Land Use sign with details about the proposal. Transmittals were sent to various City departments and other agencies regarding the proposed development plan. Relevant comments from City departments are addressed in this report as appropriate.

- a. Denyse McGriff, land use chair of the McLoughlin Neighborhood Association provided comments for this application. Specifically she wanted to see additional information on the garage doors.

17.44 Geologic Hazards Overlay District

The property is located within the Geologic Hazards Overlay District. A new-single family residence on this property will require review pursuant to this chapter. The applicant has chosen to obtain approval from the Historic Review Board prior to submitting for this review. This bifurcated process is allowed.

However, the applicant will not be able to submit for building permits until the required Type II Geologic Hazards Review has been approved. Additionally, any alterations that affect the exterior of the building(s), including the inclusion of additional retaining or wing walls, will require additional Historic Review.

ANALYSIS AND FINDINGS: The applicant needs to meet OCMC 17.40.010 and the Adopted Design Guidelines for New Construction (2006), Addition and Alterations and Demolition.

Regarding Criterion (1) - The purpose of the historic conservation district as set forth in Section 17.40.010;

The McLoughlin Conservation District has been in residential use since its settlement in the mid 1800's. New construction, meeting the adopted standards, can provide value to the district. This criterion has been met.

Regarding Criterion (2) -The provisions of the city comprehensive plan;

Section 5

*Open Spaces, Scenic and Historic Areas,
and Natural Resources*

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Goal 5.3 Historic Resources

Policy 5.3.1

Encourage architectural design of new structures in local Historic Districts, and the central Downtown area to be compatible with the historic character of the surrounding area.

Policy 5.3.8

Preserve and accentuate historic resources as part of an urban environment that is being reshaped by new development projects

Finding: Staff finds that by following the adopted design guidelines for new construction, the proposed new construction, as conditioned, can be compatible and add long-term value to the district

Regarding Criterion (3) -The economic effect of the new proposed structure on the historic value of the district or historic site.

Finding: The development will add value to the District in multiple ways. It will fill a need for residential dwelling units; it will also increase the vitality of the neighborhood.

Finally, quality new construction that is compatible with the historic nature of the district will add value to the district. Often historic property owners will choose to invest in the restoration and rehabilitation of their properties when new construction is allowed within the district.

Regarding Criterion (4) The effect of the proposed new structure on the historic value of the district or historic site;

The proposed height and massing of the building is sized as to not impact the adjacent historic buildings. The applicant has utilized a design approach that breaks down the volume of the house into the detached garage joined by access stairs. The siting of the house and the Vernacular architecture were specifically chosen to be compatible with the adjacent historic homes listed above. Staff agrees with the applicant's approach to space

the massing of the garget to the main house, but allow a breezeway to both access the ADU and provide needed cover for long term upkeep of the painted wood stairs.

Regarding Criterion (5) - Design Compatibility:

The new building is of appropriate scale and proportion to blend with the properties of the District. The applicant has proposed a Vernacular Design, which is one of the approved design types for the district. Additionally, the applicant has chosen to break up the massing by the use the detached garage (attached by a breezeway)

The proposed materials, and architectural features, as conditioned, are acceptable and meet this criterion if the Conditions of Approval are met.

Regarding Criteria (6) -Economic, social, environmental and energy consequences

As described in Criterion 3, new construction and additions meeting adopted design standards can add economic and social value to the district. Compatible infill in an existing compact neighborhood reduces the need for further expansion of the city, which adds considerable savings to the cost of infrastructure.

Design Guidelines for New Construction

A. LOCATION

- ☐ McLoughlin Historic Conservation District
- ☐ Canemah National Register Historic District
- ☐ Individually listed historic property outside of the districts
- ☐ What is the Immediate Context?
- ☐ The Block
- ☐ The Neighborhood
- ☐ What are the mix of existing appropriate historic styles?

Finding: The site is located in the McLoughlin Historic Conservation District, on 13th street, one lot west of Washington Street. The lot is currently vacant. The adjacent lot to the east contains an existing vernacular style single family residence built in 1880.

The lot across 13th Street contains another vernacular house, originally constructed in 1890 that has been converted to a fourplex. The two lots on 13th Street west of the site are dropped approximately 40' below the grade of the subject lot and are not accessible from 13th Street.

The immediate neighborhood includes a variety of Victorian, Craftsman and non-historic residential properties, primarily to the south and east. There are also several commercial properties nearby, most notably Spicer Brothers Produce immediately north and Tony's Fish Market.

B. STYLE

Determining the appropriate style is the important first step toward successfully designing a compatible building in the district. Decide which style direction to use from acceptable neighborhood

styles and those in the applicable specific Historic District Design Guideline. The styles noted for the district have specific District modifications indicated

Finding: The development proposed to use a Vernacular design. The style is commonly seen in the area.

C. SITING AND BUILDING FORM

- C-1:** Review basic zoning requirements for New Construction for the particular site (R3.5, R6, MUC etc) to understand basic setbacks, lot coverage issues.
- C-2:** Review Siting, Building Form Principles and the Specific Historic District from Design Guideline. Note any requirements that are more specific than those found in the basic zoning.
- C-3:** Establish the Site Plan and the Overall Building Form. Is the use of the site and the building's placement on the site respectful of its context? Is the size, shape and bulk of the building consistent with the style chosen? Does it complement the neighborhood context? Is there too much 'program' for the site or style?

Finding: The R3.5 zone permits single family residences, accessory dwellings and duplexes. The proposed building meets all of the dimensional requirements of the R3.5 zone, including lot size, width and depth, building height, setbacks, garage standards and lot coverage.

Sidewalk improvements are now required as part of the Single Family Building Permit process. However, new buildings located within historic districts may gain a waiver from this requirement if it can be shown that the new sidewalks are not appropriate for the area. In this case, staff supports the waiver of sidewalks on this frontage as it will further differentiate the new construction from the rest of the block and there is little to no indication that the rest of the block will ever have sidewalks installed. Street pavement, however, is required and the applicant should not receive a waiver for this.

While the applicant has provided rear mock ups of the house to the proposed grade, staff is still concerned that the rear massing will be quite visible from 15th street below. Therefore, prior to obtaining a Certificate of Occupancy, the applicant shall submit an amended landscape plan that includes the following:

- 3-6 additional minimum 1 ½ inch caliper trees that are a mix of native evergreen and deciduous with a minimum mature height of 35 feet planted within 30 feet of rear of the house to better buffer the new construction from downtown views and hide the massing of the building. Staff will review the final landscape plan at the time of C of O to determine the minimum number of trees require to meet this condition.

D. DESIGN COMPOSITION

- D-1:** Design the building and site starting with primary design groups and major elements, such as wings, roofline, secondary portions, porches, window groupings, and dormers. Are these elements supportive or are they detractive to the historic district? Are they supportive of the style and building?
- D-2:** Review the design; Is it in good proportion and is the composition balanced?
- D-3:** Review the design and adjust to incorporate comments from the first review. Is the design representative of the style range and do the forms and individual features work toward a

united design approach as viewed from the exterior?

D-4: Design the finer or more detailed portions of the building and site to fit within the framework established.

Finding: The building design is relatively clean and simple, as typical with the Vernacular style. The two building units – the primary residence and the detached garage/ADU – are basically rectangular in form with simple gable roofs. The primary residence has a secondary gable projecting out two feet beyond the adjacent wall to help break down the overall scale of the building as well as to define the entry. A hipped roof covered entry porch and small section of roof at the living area also help to add human scale to the façade.

The garage/ADU building is set back 8' from the face of the primary residence. In addition to providing the necessary driveway apron, this setback identifies this portion of the residence as subsidiary to the primary residence. A simple shed roof extends across the entire front of the garage building, providing weather protection and giving the façade a more human proportion. An exterior composite wood stairway provides access to the upper level ADU and a connecting gable provides cover at this location between the two buildings.

The use of a shed, rather than hipped roof at the front garage façade and enlarged window openings on the rear façade, along with the inclusion of the verge board were design modifications based on the preliminary recommendations of the HRB. Staff finds that overall the application has submitted a Vernacular design that is compatible with the district by utilizing the topography, use of a semi detached garage to reduce the massing.

The Design Guidelines for New Construction were written to allow property owners a clear path to approval if they could show that their proposal meets the adopted guidelines. Staff believes that as conditioned, these can be met.

E. SPECIFIC DESIGN ELEMENTS

E-1: Design and choose specific design elements, products, and materials that are allowable and consistent with the design styling and framework established.

E-2: Does the design still fit the style's 'vocabulary'? Have extraneous or excessive details, ornamentation, or materials been chosen that detract from the neighborhood context?

E-3: Do specific elements comply with the guideline? Are materials, colors and finishes selected? Visible equipment? Landscaping and Plantings?

Finding. According to the applicant, the building exterior is constructed with fiber-cement lap siding and 4" trim at corners and windows and a 12" verge trim. A combination of one-over-one single hung and fixed fiberglass windows and fiberglass entry doors will be utilized typically. Porch and deck detailing, including posts and trim are very simple and unadorned. The design of all typical detailing is simple and true to the Vernacular style.

CONCLUSION AND RECOMMENDATIONS:

1. Prior to release of building permits, the applicant is required, apply for and gain approval of a Geological Hazards Overlay Review per OCMC 17.44.
2. Incised lumber or pressure treated wood shall not be used on any visible surfaces.
3. All railings, decking and stairs shall be finished to match the house body or trim.
4. The applicant shall utilize the following, unless an alternate has been approved by the Historic Review Board.
 - a. Wood or fiberglass windows and doors. Fiberglass windows (Marvin Integrity or equivalent)
 - b. The window sash shall be the darkest color of the three color paint scheme.
 - c. Wood or a minimum 4-4 1/2-inch reveal smooth composite siding
 - d. Simple vernacular styled lighting.
 - e. Simple paneled fiberglass or wood garage doors with or without windows.
5. Prior to obtaining a Certificate of Occupancy, the applicant shall submit an amended landscape plan that includes the following:
 - 3-6 additional minimum 1 ½ inch caliper trees that are a mix of native evergreen and deciduous with a minimum mature height of 35 feet planted within 30 feet of rear of the house to better buffer the new construction from downtown views and hide the massing of the building. Staff will review the final landscape plan at the time of C of O to determine the minimum number of trees require to meet this condition.
6. Sidewalk improvements are now required as part of the Single Family Building Permit process. However, new buildings located within historic districts may gain a waiver from this requirement if it can be shown that the new sidewalks are not appropriate for the area. In this case, staff supports the waiver of sidewalks on this frontage as it will further differentiate the new construction from the rest of the block and there is little to no indication that the rest of the block will ever have sidewalks installed. Street pavement, however, is required and the applicant should not receive a waiver for this.

EXHIBITS

1. Vicinity Map
2. Applicant's Submittal
3. Design Advice, December HRB meeting (onfile)
4. Public Comments
 - a. Denyse McGriff -MNA Comments
 - b. St. John the Apostle Catholic Church